

HOME INSPECTION REPORT

PROFESSIONAL PROPERTY EVALUATION



PROPERTY ADDRESS

**Howard St
Upland, CA 91786**

YEAR BUILT

1963

PREPARED FOR

Sample Report

SQUARE FEET

1,407

BEDROOMS

4

BATHROOMS

2

INSPECTION DATE

Monday, May 18, 2026



Introduction

We have inspected the major structural components and mechanical systems for signs of significant non-performance, excessive or unusual wear and general state of repair. The following report is an overview of the conditions observed.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:







Inspection performed by:

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Certified: Master Home Inspector

Additional Inspector:

Brandon Salvato

Legend Symbols

-  Health and safety or dangerous condition that should be corrected immediately
-  Items requiring repair. Client is encouraged to get repair cost estimates prior to close of escrow.
-  Items requiring general maintenance.
-  General advisory/warning. Or condition that requires your attention or monitoring.
-  Satisfactory Condition or Functioning as Intended.
-  Further evaluation by a qualified individual is needed.

Emergency Shutdown (ESD)

The inspector has taken careful time to examine the Emergency Shut Down (ESD) points and has documented their locations in the report information below. Each ESD has been evaluated for accessibility to help ensure rapid action during an emergency.

Your obligation as a homeowner is to perform regular safety checks and maintenance on these ESDs to ensure their proper functionality. Keep the area around each ESD clear and unobstructed so the shutoffs can be easily accessed in the event of an emergency.

- **Main Water Shutoff:** The main shutoff valve is located at the front of the home. The main water shutoff valve was in satisfactory condition.



- **Gas Meter:** Natural gas service is provided to the home via public utility. Having a gas shut off wrench located at the gas utility will aid in the event of emergency shut off needs. The gas shut off valve can be shut off by turning the valve 90° in either direction.



- **Electrical Panel Amperage:** The main electrical panel is rated for 125/250 Volts 100Amps. The main service disconnect switch is located at the main electrical panel.



Table of Contents

[Property Information](#)

[Roofing](#)

[Front Yard](#)

[Side Yard](#)

[Backyard](#)

[Garage](#)

[Foundation/Crawl Space](#)

[Exterior Walls Windows & Chimney](#)

[Electrical Panel](#)

[Water Heater\(s\)](#)

[Plumbing](#)

[Heating - Air](#)

[Interiors & Stairs](#)

[Fireplace\(s\)](#)

[Kitchen](#)

[Bedroom 1](#)

[Bedroom 2](#)

[Bedroom 3](#)

[Bedroom 4](#)

[Bathroom 1](#)

[Bathroom 2](#)

[Laundry](#)

[Attic](#)

[Executive Summary](#)



Property Information

Address:

Howard St
Upland, CA 91786

Property Details:

Year Built: 1963
Square Footage: 1,407 sq ft
Bedrooms: 4 bedrooms
Bathrooms: 2 bathrooms

Site Conditions at Time of Inspection:

Weather: Clear
Temperature: 73°F
Humidity: 40%
Wind Speed: 4 mph
Recent Precipitation: No significant
precipitation in past 72 hours

Inspection Date:

5/18/2026

Client:

Sample Report
999999999
Attendance: Present at Beginning

Realtor:

Christina Blanco
Attendance: Present at Middle

Roofing

This roof inspection is conducted according to industry standards and by of using a combination of visual on-site assessment and drone-assisted imagery. Drone operations are employed to enhance accuracy while protecting roofing materials from physical damage during inspection. While every reasonable effort is made to identify observable conditions, this evaluation is limited to conditions detectable from accessible angles and weather permitting. It does not guarantee the absence of latent or concealed defects. No warranty of water tightness or future performance is provided as part of this assessment.

We do not perform any type of disassembly or destructive testing of roofing components. The inspector's observations are based on visible, non-intrusive examination and information obtained at the time of evaluation. If moisture intrusion, drainage issues, or other water-related concerns are suspected but not conclusively observable during the inspection, a licensed specialist or further diagnostic wet testing may be prudent. This is not a certification of the roof's condition and should be used only be used in conjunction with other relevant disclosures and inspections.

Method of Inspection

Method of Inspection

- 1:
The roof was evaluated using a drone....



Roof Condition

Roof Condition



W2: Directly Over Wood Shingles

Life expectancy is 3 to 5 years. The roof is subject to leaks at any time due to its age and current condition. The asphalt shingles appear to have been installed directly over the original wood shingles. The asphalt shingles may show inconsistencies at the surface areas. Minor lifting of the shingles was observed. The existing conditions will most likely reduce the life expectancy of the roof.









Roof Condition



W3:

The leaderboard exhibited signs of damage caused by wood, destroying insects and organisms. This can add substantial cost to the replacement of the roof. Buyer beware.



Flashing Conditions

Flashing Conditions



M4:

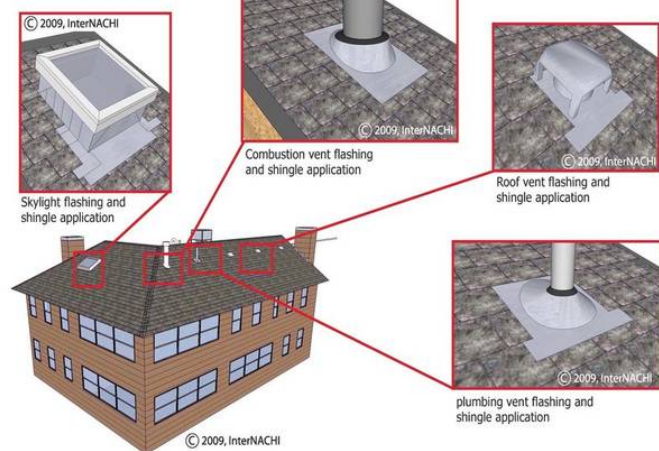
Based on the current age of the roof system and normal maintenance cycles, it is recommended that all roof penetrations and flashings be resealed to help prevent leaks during the rainy season. Consult a roofing contractor for repair.

[Sealant Tape](#)

Instantly seal exposed fasteners and pipe vent roof penetrations. Instantly provides waterproof protection.

Illustration & Photos

Roof penetrations and flashing



Roof Decking

Roof Decking



W5:

1x6 skip sheathing with wood shingles. The underside of the wood shake shingles, exhibited signs of old water stains. This is indicative of this type of system. Radiant barrier plywood decking will be needed when the roof system is replaced. This comes at a substantial extra cost.





Ventilation

Ventilation



W6: Missing Ridge Vent

Manufacturers of composition shingles recommend continuous roof vent systems to maintain the manufacturer's warranty. Dormer vents were utilized. A lack of ventilation will result in early deterioration of the shingles. Upgrades recommended.

Illustration & Photos



Trees Over Roof System

Trees Over Roof System



M7:

Tree trimming is needed. Trees over the roof system can cause early deterioration of the composition shingles leading to leaks.



Rain Gutter and Downspout Conditions

Rain Gutter and Downspout Conditions



W8: No Rain Gutters Present

Gutters and downspouts direct roof water away from the foundation, reducing moisture, hydrostatic pressure, and soil erosion that can compromise foundation stability and cause water intrusion.



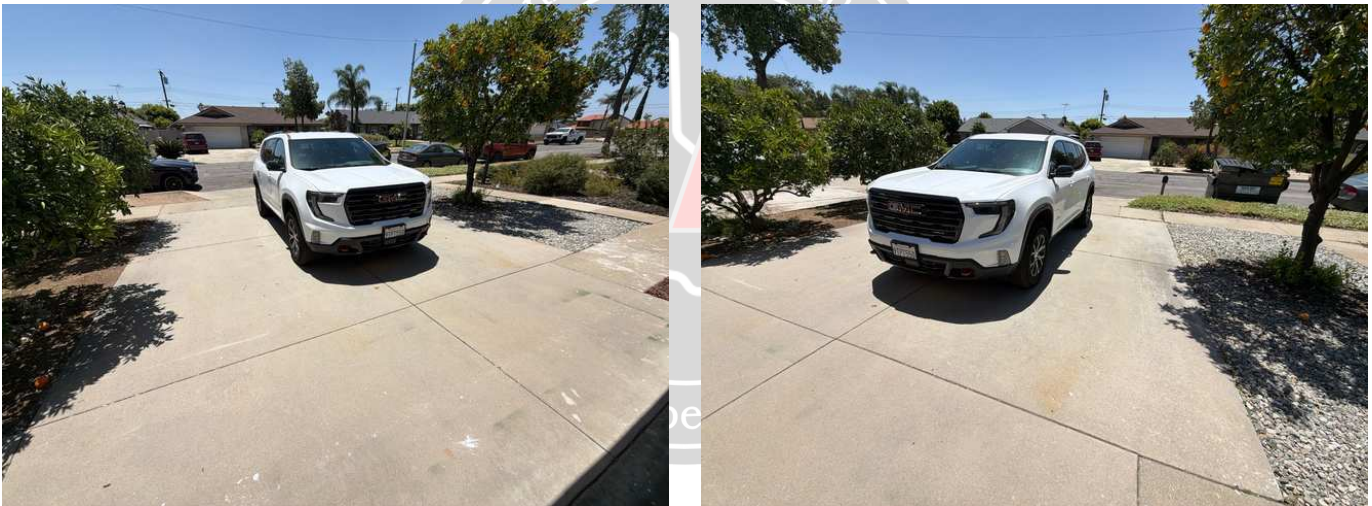
Front Yard

This inspection is not intended to address or include any geological conditions or site stability information. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. Furthermore the control of rain water is important to any structure. Recommendations for rain gutters, downspouts, surface or subsurface drainage should be taken seriously and addressed right away. This will help preserve the foundation and structure from deterioration caused by moisture.

Driveway Observations

Driveway Observations

- ✓ **9:** The driveway appeared to be in satisfactory and usable condition at the time of the inspection.



Garage Door Condition

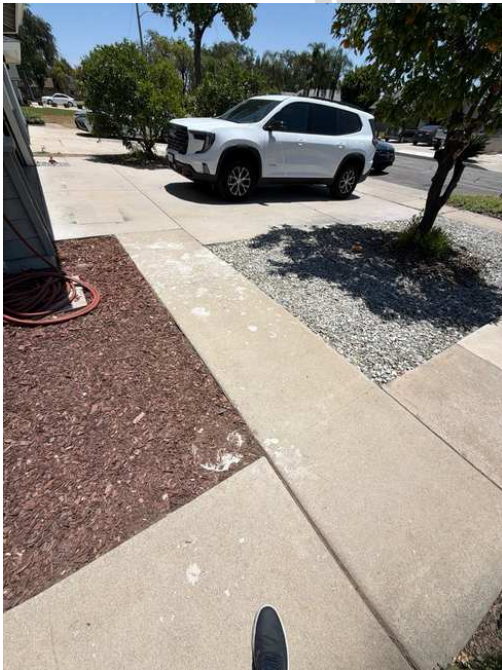
Garage Door Condition

- ✓ **10:** The garage door was tested and found to be functional on the day of inspection. Signs of normal wear and tear were present.

Sidewalk Observations

Sidewalk Observations

- ✓ **11:** The visible areas of the sidewalk appeared to be in serviceable condition at the time of the inspection.



Yard Conditions

Yard Conditions



W12: Flat

The drainage at the front of the home was flat or nearly flat in some areas. A 5% grade away from the home is ideal.



Porch

Porch



W13:

Signs of cracks and settling at the front porch. While this does not pose an immediate hazard. Buyer should be aware that the settling it's occurring and can pose a trip hazard in the future.



Entry Door

Entry Door

✓ 14:

The entry door was functional. Cosmetic deficiencies may exist, but do not affect the doors performance, and there was no signs of water intrusion.



Light Fixture Conditions

Light Fixture Conditions

✓ **15: Satisfactory**

Light fixtures were satisfactory.



Hose Bib Condition

Hose Bib Condition

✓ **16: Satisfactory**

Hose bibs were in satisfactory condition.



Tree and Shrub Conditions

Tree and Shrub Conditions

🔧 **R17: Tree and shrub clearance**

A 12" clearance between shrubs and plantings is recommended to help prevent the buildup of moisture. A 5' clearance between trees and the homes structure is recommended to help prevent damage.

AI Estimated Cost: \$250 - \$625 *



Side Yard

Gates

Gates



R18:

General repairs are needed at gates. Consult a handyman for evaluation and repair.

AI Estimated Cost: \$125 - \$375 *



Yard Conditions

Yard Conditions

- ✓ **19:** Drainage at the side(s) yard is satisfactory.



Yard Conditions



W20: Flat

The drainage at the side of the home was flat or nearly flat in some areas. A 5% grade away from the home is ideal.



Entry Door

Entry Door



21:

The garage side entry door was functional. Cosmetic deficiencies may exist, but do not affect the doors performance, and there was no signs of water intrusion.



Light Fixture Conditions

Light Fixture Conditions

✓ **22: Satisfactory**

Light fixtures were satisfactory.



Receptacle Conditions

Receptacle Conditions



S23:

All exterior receptacles must be GFCI protected for occupant safety. Consult with a licensed electrician for improvements. Please click here for a complete cost guide to GFCI outlet installation.

AI Estimated Cost: \$188 - \$375 *

[GFCI Receptacle LED](#)

GFCI power outlet detects ground faults and shuts off power to prevent serious electric shock.

Illustration & Photos

Safe & Reliable

Weather-resistant 15 amp outlet



Tamper-resistant design



Helps prevent electrical shocks



Hose Bib Condition

Hose Bib Condition



W24:

Galvanized hose bib was abandoned during the plumbing re-pipe. Not functional.



Patio Conditions

Patio Conditions

✓ **25: Satisfactory**

The patio was in satisfactory condition on the day of inspection. Small hairline cracks may be present or may occur as part of regular curing and settling.



Patio Cover Conditions

Patio Cover Conditions



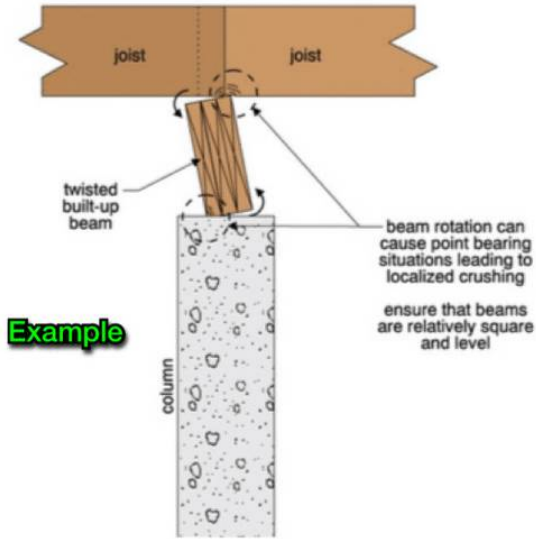
R26: Beam Rotation

Beam rotation was noted. This can cause point loading at bearing points leaving some areas in properly supported. Consult with a structural engineer for further evaluation and cost of repairs.

AI Estimated Cost: \$1,500 - \$2,500 *

Illustration & Photos

Beam rotation (twisting)



Example



Wood Fencing

Wood Fencing



R27:

The wood fencing is showing signs of deferred maintenance. Minor repairs are needed. It is suggested that a "Licensed General Contractor" be contacted for further evaluation and repair.

Estimated Cost: \$1,100



Tree and Shrub Conditions

Tree and Shrub Conditions



R28: Tree and shrub clearance

A 12" clearance between shrubs and plantings is recommended to help prevent the buildup of moisture. A 5' clearance between trees and the homes structure is recommended to help prevent damage.

AI Estimated Cost: \$250 - \$625 *



Backyard

Yard Conditions

Yard Conditions



29:

Drainage at the rear patio is satisfactory. Water pooling can be expected during rains.



Yard Conditions



W30: Flat

The drainage at the rear of the home was flat or nearly flat in some areas. A 5% grade away from the home is ideal.



Receptacle Conditions

Receptacle Conditions



S31: Need Weatherproof Covers

All exterior wiring devices must have approved weatherproof covers designed for their use.

AI Estimated Cost: \$188 - \$375 *

Weatherproof Cover

This weatherproof cover meets National Electrical Code requirements for weatherproof protection at the exterior of the home. Easy installation and long-term protection from water intrusion.

Illustration & Photos



Patio Doors

Patio Doors



32:

Patio doors were tested and found to be functional on the day of inspection. Doors show signs of normal wear and tear.



Patio Conditions

Patio Conditions



33:

The patio was in satisfactory condition on the day of inspection. Small hairline cracks may be present or may occur as part of regular curing and settling.



Patio Cover Conditions

Patio Cover Conditions

✓ **34: Satisfactory**

The patio cover was in satisfactory condition.



Property Wall Conditions

Property Wall Conditions

✓ **35: Property Wall Satisfactory**

The block wall was in good to excellent condition. No signs of settling or step cracks were noted.

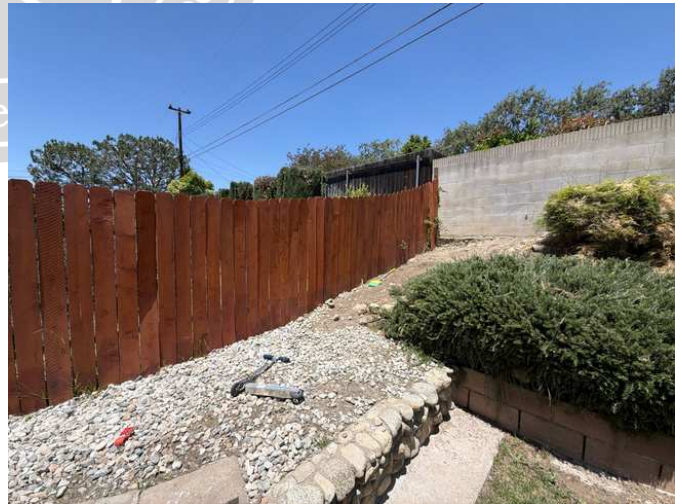


Wood Fencing

Wood Fencing

✓ **36: Satisfactory Condition**

The wood fencing was in satisfactory condition.





Wood Fencing



R37:

Wood Fence picket repair needed.

AI Estimated Cost: \$100 - \$250 *



Garage

First and foremost garage door safety is the responsibility of the operator. The garage door should not be operated when children and pets are within close proximity to moving parts!

Tilt up garage doors pose a additional safety hazards and should be considered for immediate upgrade. Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable liquids such as gasoline and kerosene should only be stored in appropriate containers. Garage door opening heights are not standard for all homes, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is not uncommon for moisture to penetrate garages, particularly with slabs on-grade construction, and this may be apparent in the form of efflorescence, calcium or salt crystal formations on the concrete. Post tension slabs should not be cut or cored as this will create a structural defect and may even cause personal injury or death. All cracks in the garage slab small or not should be monitored for growth and movement. Contact an engineer if changes appear.

You may want to have any living space above the garage should there be any, evaluated further by a structural engineer, as it may be seismically vulnerable. A structural engineer may recommend additional bracing around the garage door opening to prevent failure during seismic activity. Only a licensed structural engineer can evaluate the home for structural integrity.

Number Of Spaces

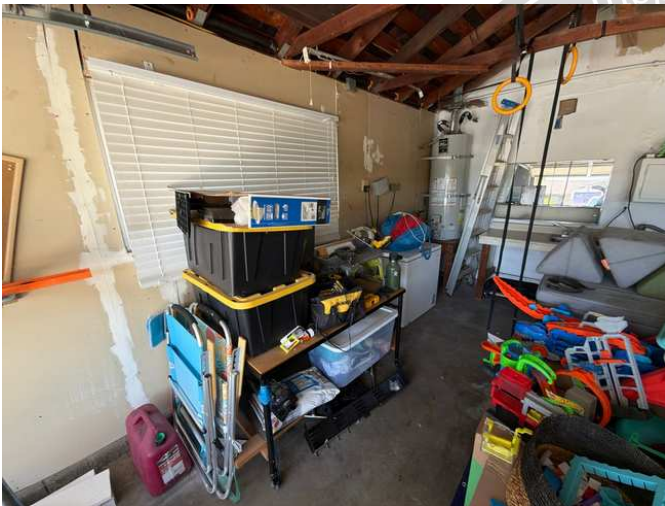
Number Of Spaces

- **38:**
Two-car attached garage.

Personal Items

Personal Items

- ✓ **39:**
Personal items and storage obstructed a complete visual assessment of the garage area. Client may request clearing of said personal items and storage. Then call for re-inspection.



Walls

Walls



S40: Compromised firewall

The fire containment envelope also referred to as the firewall has been compromised. Walls should be patched and repaired according to local codes and ordinances. Consult a general contractor for repairs.

AI Estimated Cost: \$750 - \$1,625 *



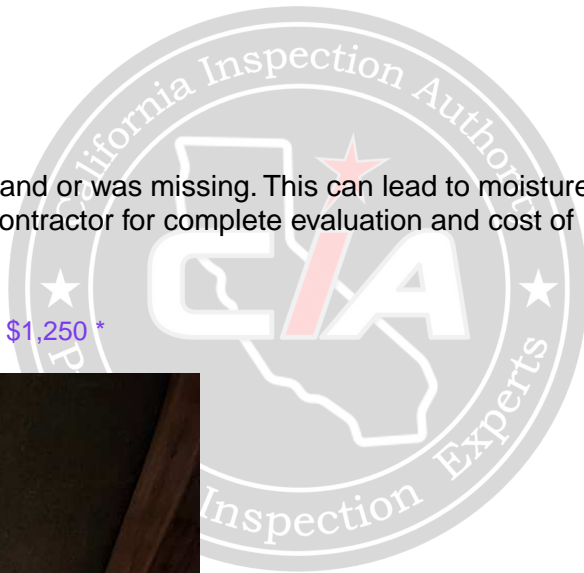
Walls



R41: Felt Deterioration

The felt has deteriorated and or was missing. This can lead to moisture related damage in the walls. Consult with a qualified contractor for complete evaluation and cost of repairs.

AI Estimated Cost: \$625 - \$1,250 *



Lighting

Lighting



S42:

No lights provided at entry door. Consult with a licensed electrician for Installation. A three-way switch is recommended between the garage, entry door and the garage man door.

AI Estimated Cost: \$250 - \$625 *



Electrical

Electrical



S43:

The garage door receptacle was not GFCI protected. Consult with a licensed electrical contractor to install GFCI protection at the main electrical panel.

AI Estimated Cost: \$188 - \$375 *



Electrical



S44:

All garage receptacles must be GFCI protected for occupant safety. Consult with a licensed electrician for installation. Please click here for a complete cost guide to GFCI outlet installation.

AI Estimated Cost: \$188 - \$375 *

[GFCI Receptacle with LED Indicator](#)

GFCI receptacle with LED indicator. Occupant safety device.

Illustration & Photos



Safe & Reliable

Weather-resistant 15 amp outlet



Tamper-resistant design



Helps prevent electrical shocks



Operator Button

Operator Button

✓ 45:

The operator button was in satisfactory condition and responded normally to testing.



Opener and Safety Sensors

Opener and Safety Sensors



S46:

The garage door was not equipped with a battery back up system. In September 2018, California Governor Jerry Brown signed SB 969 into law. This requires all garage door openers sold in California after July 1, 2019, must have battery backups for occupant safety. It is for that reason we recommend a battery back up system be installed on the garage door for emergency operation. This law was enacted in response to the Wildfire season of 2017 when at least five people died from fire-related causes when their garage doors would not open due to a power outage.

AI Estimated Cost: \$375 - \$875 *



Sink

Sink



R47: Corrosion Under Sink

Plumbing component(s) below the sink exhibited signs of corrosion at P-trap assembly. We recommend the client consult with a qualified plumber for further evaluation and repair.

AI Estimated Cost: \$188 - \$375 *



Foundation/Crawl Space

Foundation inspections include examining visible and accessible foundation walls, piers, posts, and floor structure. The inspection does not include areas that are not readily accessible.

Foundation Type

Foundation Type

✓ **48:**

The home was constructed on a slab on grade foundation. This is the most common method for modern home construction. The slab foundation components were evaluated from the exterior and interior of the home. There were no excessive signs of settling or cracks noted on the day of inspection. All concrete slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the condition of the slab underneath cannot be determined. Areas hidden from view by finished walls furniture or stored items cannot be judged.

Materials Used

Materials Used

✓ **49:**

Concrete and steel reinforced foundation.

Slab Foundation General Conditions

Slab Foundation General Conditions

- ✓ **50:** The slab foundation was in satisfactory condition and generally level throughout. Client should be advised cracks in the slab foundation may be discovered when flooring is removed and or replaced. The inspector does not have the luxury of removing flooring to evaluate slab components.

Exterior Walls Windows & Chimney

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons. Inspector may not be able to evaluate all surfaces of the home due to vegetation plantings and other obstructions. It is not the intent of the inspector to damage any of these items during the visual assessment of the home. The home inspector cannot diagnose the presence of lead in wood trim surfaces. Lead testing can only be performed by a certified company equipped to do so. The home inspection is a visual process only to determine the general overall condition and habitability of the structure. Outdoor lighting low voltage landscape lighting and irrigation are not part of this inspection as they are considered secondary systems.

Exterior Wall Covering

Exterior Wall Covering

- **51:** Stucco with color coat application.

Exterior Wall Conditions

Exterior Wall Conditions

- ✓ **52:** The stucco was in satisfactory condition. Minor hairline cracks were noted. But are considered a normal part of the curing and settling.





Wood Trim Conditions

Wood Trim Conditions



R53: Damaged Wood Trim Noted

Wood trim exhibited signs of WDO, peeling paint, fungi, splits. Consult with a qualified professional for further evaluation and repair.

AI Estimated Cost: \$375 - \$875 *



Exterior Windows

Exterior Windows

- ✓ **54:** Vinyl pane thermal windows were in satisfactory condition there were no cracked or broken window panes observed. Client should be aware that all vinyl windows are sealed using caulking and or other sealants that may break down overtime. Resealing vinyl windows is part of normal and regular home maintenance.







Chimney Type

Chimney Type

- **55:** Brick and mortar with a clay flue liner was utilized to construct the chimney.



Chimney Conditions

Chimney Conditions



R56:

Evidence of weathering and cracks were noted at the chimney crown. Repairs are needed to help prevent water intrusion into the chimney cavity. Consult with a brickmason for evaluation and repairs. Chimney crown repair guide.

AI Estimated Cost: \$625 - \$1,500 *



Chimney Conditions



R57: Chimney to Wall Flashing

The chimney to wall flashing is showing signs of deferred maintenance. The sealant was dry and brittle. This can lead to water intrusion. Consult a general contractor for replacement.

AI Estimated Cost: \$375 - \$750 *

Butyl Rubber Sealant

Long lasting, durable and easy to apply sealant for chimney to wall flashing.

Illustration & Photos



Storm Cap & Spark Arrestor

Storm Cap & Spark Arrestor

- ✓ **58:** Storm cap and spark arrestor were present.



Electrical Panel

While we are not licensed electricians and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a licensed contractor. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. Any electrical repairs or upgrades should be made by a licensed electrician. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Carbon monoxide alarms should be installed within 15 feet of all bedroom doors, and tested regularly. Smoke detectors are recommended in each bedroom for occupant safety.

Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any over-current device except for ground fault interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built in vacuum equipment.

Communication Utility

Communication Utility



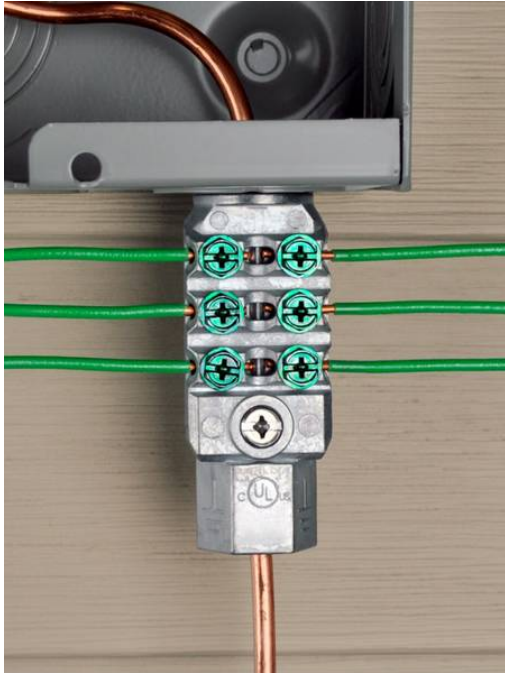
W59:

Missing intersystem bonding termination device. (IBT) Bonding of communication systems. A bonding termination device must be provided for communication systems in accordance with article 250.94 A and B of the national electrical code. It is suggested that a "Licensed Electrical Contractor" be contacted for further evaluation and installation.

[Intersystem Bonding Terminal](#)

Easy to install mounts to the electrical panel. Provides quick, safe and compliant intersystem bonding connection.

Illustration & Photos



Electric Utility

Electric Utility

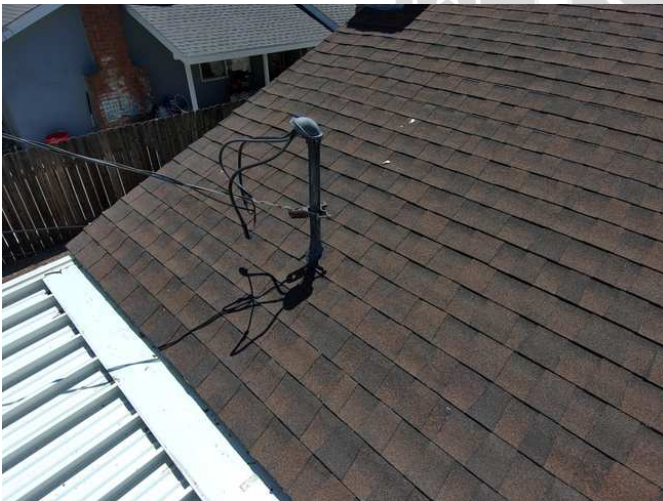
- **60:** Electrical service was provided to the home by public utility.



Electric Utility

✓ **61: Overhead Service**

Electrical service is provided to the home via overhead service conductors.



Manufacture

Manufacture

62:

The main electrical panel is manufactured by General Electric and is rated for 125/250 Volts. The panel is in good condition. Voltage was tested and well within guidelines.



General Condition

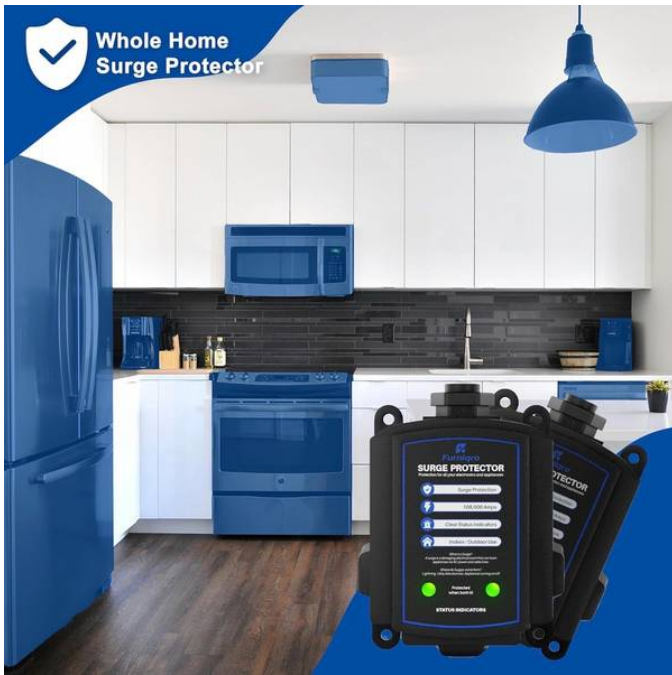
General Condition

- i E63:** There was no surge protection provided. Article 230.67 of the 2020 National Electrical Code® (NEC) now requires all services supplying dwelling units to be provided with a surge protective device (SPD), as an integral part of equipment or located immediately adjacent. The SPD must be a Type 1 or Type 2 SPD. It is suggested that a "Licensed Electrical Contractor" be contacted for further evaluation and installation.

Whole House Surge Suppressor

This whole house surge protector is compatible with any brand of load centers and circuit breakers, designed specifically for surge protection at 120/240V, 60Hz system voltages.

Illustration



General Condition



R64: Outdated/Nearing The End

The electrical panel is outdated and considered obsolete. It is for that reason we recommend electrical panel be upgraded to a 200 amp all in one meter and load center combo.

AI Estimated Cost: \$1,875 - \$3,125 *



General Condition

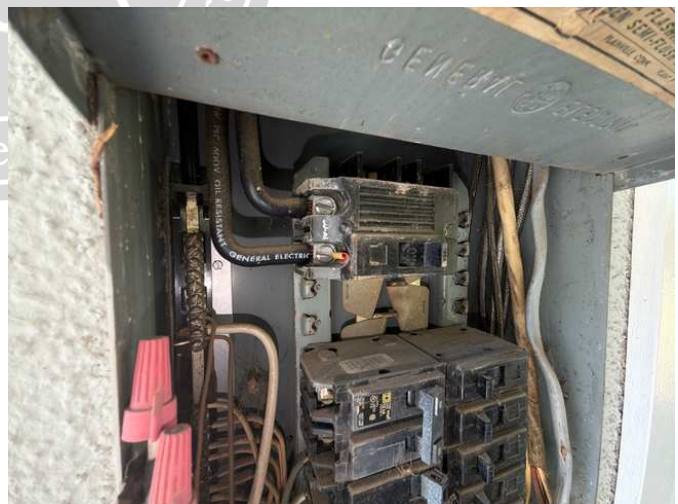
R65: Clean and Torque Service

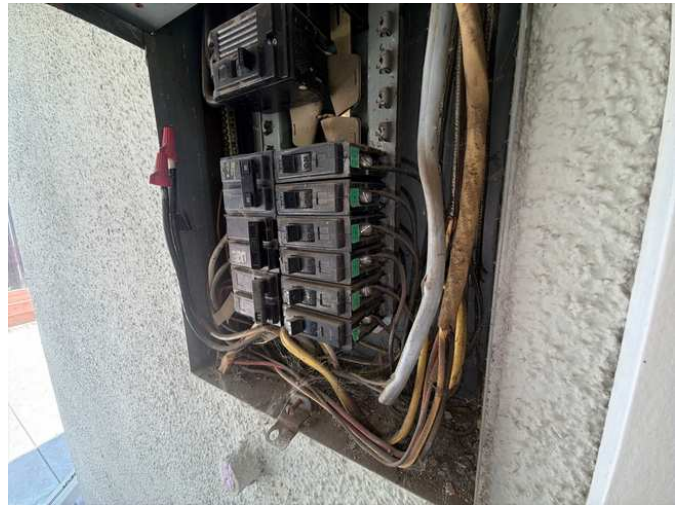
Clean and torque service is recommended for the main electrical panel. Consult a licensed electrician for service. Signs of charring on the buss bars were observed.

AI Estimated Cost: \$344 - \$563 *

Illustration & Photos

TERMINAL WIRE SIZES AND TORQUES		
Examples		
USE COPPER OR ALUMINUM 60°/75°C WIRE		
<small>SEE BREAKER MARKINGS FOR WIRE SIZE AND TORQUE REQUIREMENTS</small>		
TERMINALS	WIRE	TORQUE
G, N1	2/0 - 4 AWG	110 LB-INS
MAIN BREAKER - LINE	2/0 AWG CU; 3/0 AWG AL Max.	See Breaker
NEUTRAL/GROUND BARS (USE TYPE EC1GB or EC2GB GND BAR KIT ACCESSORY)	10-14 CU/10-12 AL	20 LB-INS
	8 AWG	25 LB-INS
GROUND CONDUCTORS ONLY	6-4 AWG	35 LB-INS
	(2)or(3) 14 AWG	20 LB-INS
	(2) 12-10 AWG	20 LB-INS
N2 ECLK2N NEUTRAL LUG	2/0 - 4 AWG	110 LB-INS
ECLK1-2 NEUTRAL LUG KIT	2/0 - 4 AWG	45 LB-INS
ECLK2 NEUTRAL LUG KIT	2/0 - 4 AWG	135 LB-INS
MAIN BREAKER TO BUS CONNECTION (1/4-20 NUT)		45 LB-INS
BONDING SCREW		45 LB-INS





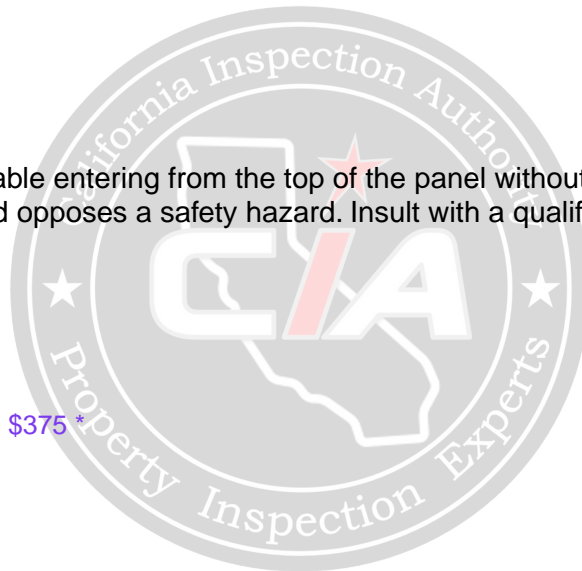
General Condition



S66:

Non-metallic sheathed cable entering from the top of the panel without a proper wire connector. This is not code compliant and opposes a safety hazard. Insult with a qualified individual for further evaluation and repair.

AI Estimated Cost: \$188 - \$375 *



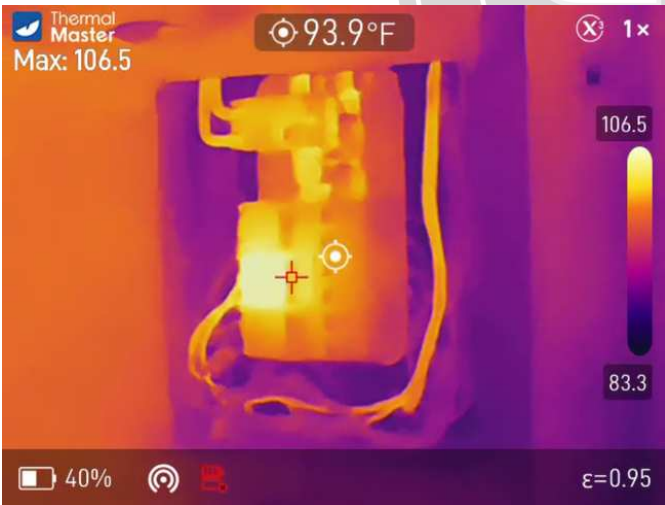


General Condition



W67: Thermal Imaging

Thermal imaging was utilized to evaluate the panel components. Signs of overheating was observed. Consult with a qualified electrician for further evaluation and repair.





Amperage Rating

Amperage Rating

✓ **68:**

The main electrical panel is rated for 125/250 Volts 100Amps. The main service disconnect switch is located at the main electrical panel.



AFCI Circuit Breakers

AFCI Circuit Breakers

R69:

AFCI circuit breakers are not available for this GE circuit breaker panel. Yet another reason for upgrades. In 2020 the National Electrical Code (NEC) required that all 120v 15 and 20 amp branch circuits feeding convenience outlets and devices be protected by an AFCI circuit breaker. Including but not limited to kitchen, family rooms, dining room, living room, parlors, libraries, dens, bedrooms, Sun rooms and patios, recreation rooms, closets, hallways, laundry areas and or similar rooms. The National Fire Protection Authority (NFPA) recognizes that AFCI circuit breaker's can greatly reduce the risk of fire at receptacles throughout the dwelling caused by arc fault conditions. It is for that reason we at California Inspection Authority recommend the client consult with a licensed electrical contractor for installation of such safety devices.

AI Estimated Cost: \$344 - \$688 *

Illustration



Wiring Methods

Wiring Methods

70:

Copper nonmetallic sheathed cable also referred to as Romex was utilized throughout the home for all branch circuits.

Cold Water Ground

Cold Water Ground



S71: No Longer Grounded

The cold water ground appears to be no longer properly connected to the home plumbing. It is suggested that a "Licensed Electrical Contractor" be contacted for further evaluation and repair.

AI Estimated Cost: \$188 - \$375 *



Water Heater(s)

Water heater inspection includes evaluation of the unit condition, safety features, venting, and connections. The inspection does not include efficiency testing or tank interior inspection.

Location

Location

- **72:**
The hot water heater was located in the garage.



Type

Type

- 73: Natural gas fired hot water storage tank.

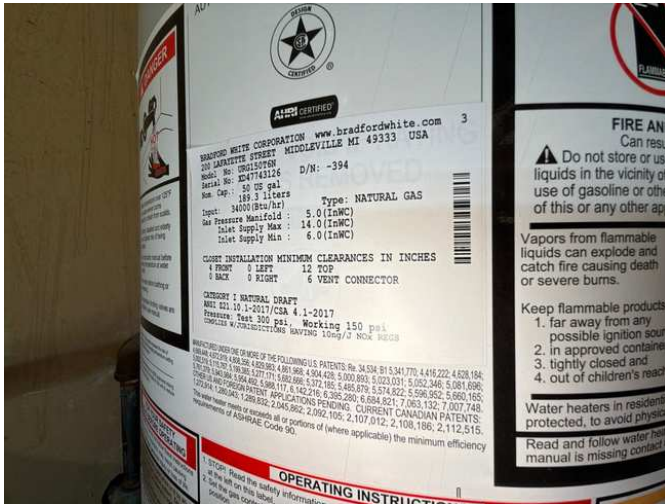


Capacity

Capacity

✓ 75: Adequate Size

Based on national water heater charts the hot water heater for the home is adequate.



Expansion Tank

Expansion Tank

🔧 R76:

There was no expansion tank present. Expansion tanks help to balance water pressures that can cause damage to the plumbing system. Consult with a licensed plumbing contractor for cost of installation.

AI Estimated Cost: \$250 - \$625 *

Illustration & Photos



Temperature Control Valve

Temperature Control Valve



S77:

There was no whole house temperature control valve present. Temperature control valves help to prevent scalding at bathtubs and sink areas.

[AI Estimated Cost: \\$188 - \\$375 *](#)

Temperature Mixing Valve

Whole house temperature control valve. Everyone is safe from scalding water temperatures with this device installed on your home.

Illustration



Shut Off Valve

Shut Off Valve

✓ **78:**

The hot water heater shut off valve was in satisfactory condition. There were no signs of leaks rust or corrosion.



Vent Pipe

Vent Pipe



S79:

The fluted portion of the vent pipe should not be exposed more than a quarter of an inch according to local plumbing codes. The pipe is too short. A longer piece is needed. This will help prevent carbon monoxide leaks.

AI Estimated Cost: \$188 - \$500 *



Supply Lines

Supply Lines



80:

The hot water heater supply lines were in satisfactory condition. There were no signs of leaks rust or corrosion.



Seismic Straps

Seismic Straps



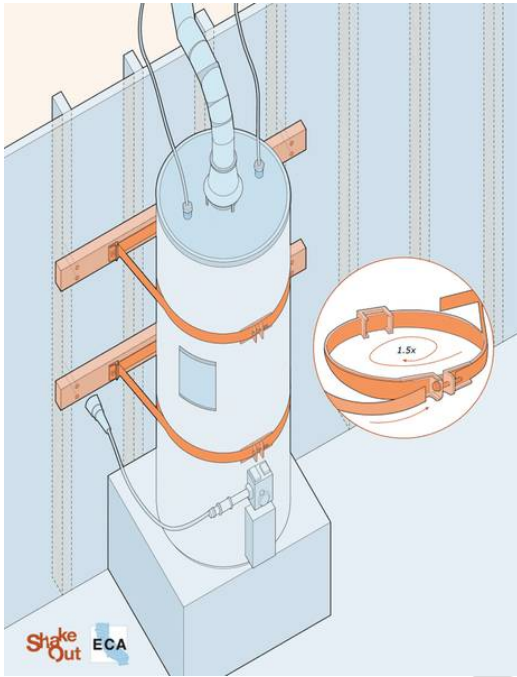
S81: Seismic Straps Not Installed Properly

Hot water heater seismic straps were not installed according to manufacturers guidelines. Consult with a plumbing contractor for proper blocking and bracing.

AI Estimated Cost: \$188 - \$375 *

<https://amzn.to/3Qv6tWR>

Illustration & Photos



TPR Valve

TPR Valve

✓ 82:

The TPR valve was in satisfactory condition. There were no signs of leaks, rust or corrosion.



Drip Pan

Drip Pan

R83:

Drip pans are recommended below all hot water heaters. This will help contain leaks and prevent water damage.

AI Estimated Cost: \$188 - \$375 *

Water Heater Drip Pan

Water heater drip pans can help prevent water damage and microbial growth. Easy installation and long-term protection.

Illustration & Photos



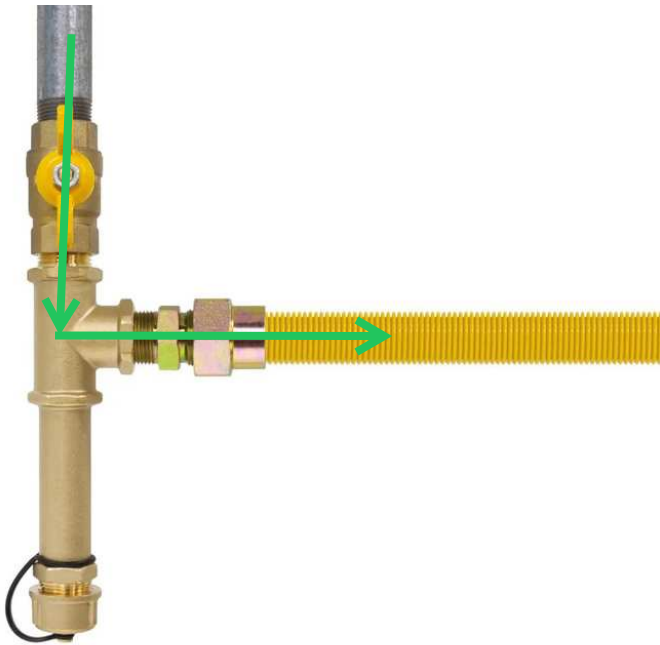
Gas Line

Gas Line

R84:

The sediment light was not installed in the right orientation. We recommend that a sediment leg be installed. This will help prevent sediment from clogging the gas valve or orifices.

AI Estimated Cost: \$188 - \$375 *



Plumbing

The home inspector in no way can determine the condition plumbing pipes that are concealed in walls cavities and below grade. The home inspector will do his best to describe what type system the home is equipped with and the overall condition. In older homes built before 1970's are commonly equipped with galvanized drain waste and vent system. A galvanized waste system typically last about 50 years at best and should be considered a major upgrade. Galvanized water supply lines have a shorter life span of around 40 years and should be taken seriously and upgraded as needed. Common replacements of galvanized water supply is copper and or pex. Polybutylene is a water supply system typically grey in color. Polybutylene is a problematic water supply system and is not commonly insured by most insurance companies. We advise you seek out additional information on polybutylene material.

It is the responsibility of the buyer to determine if sewer or water needs further evaluation. We recommend the use of a sewer scope camera inspection to evaluate condition of sewer lines prior to the close of escrow. Consult a local plumber for this service. The inspection and report do not address, and are not intended to address, the possible presence of or to determine the presence, or to evaluate lead-based paint, lead contamination, or lead hazard. Shut off valves are not checked for functionality but rather for the presence of a valve. Evaluating underground plumbing and septic systems is not included in this inspection.

Sewer Connection

Sewer Connection

- **I85:**
Sewer is provided to the home via public utility.

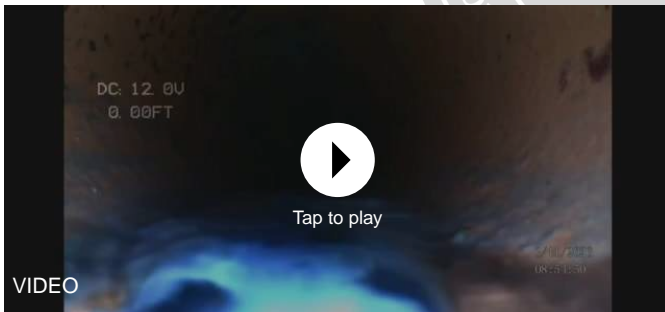


Sewer Connection

 **R86: Sewer Inspection Performed**

The sewer lateral was inspected using a high definition sewer line Camera. **The sewer line was accessed from the primary clean-out. The Sewer had significant root intrusion and significant signs of rust and corrosion. The sewer line is in need of upgrades.**

AI Estimated Cost: \$1,875 - \$3,750 *

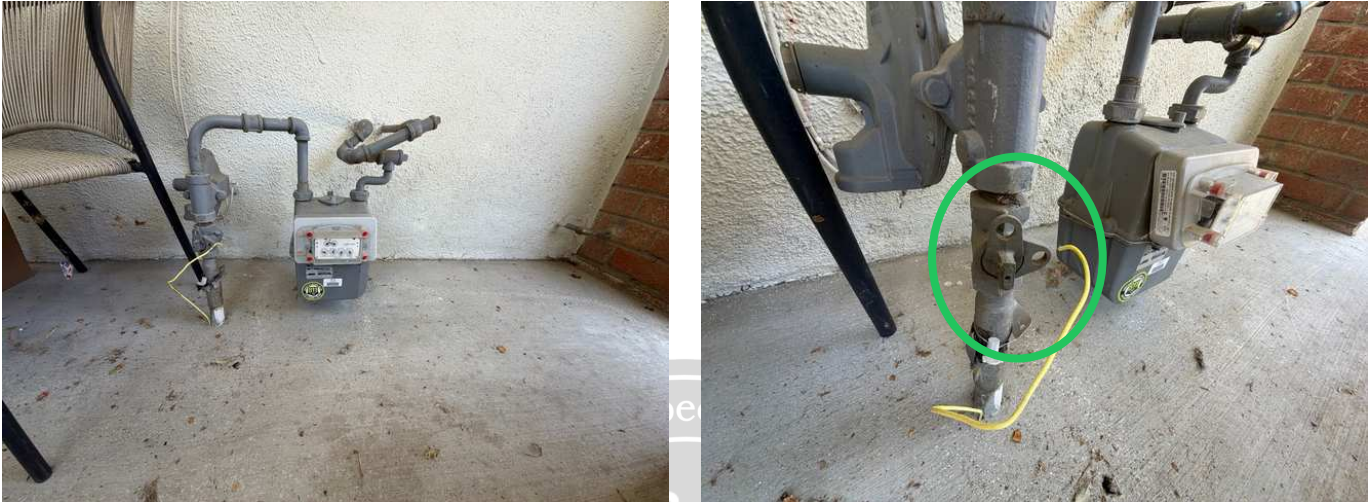


Gas Utility

Gas Utility

I87:

Natural gas service is provided to the home via public utility. Having a gas shut off wrench located at the gas utility will aid in the event of emergency shut off needs. The gas shut off valve can be shut off by turning the valve 90° in either direction.



Gas Utility



W88: Gas Shut Off Wrench Non-Present

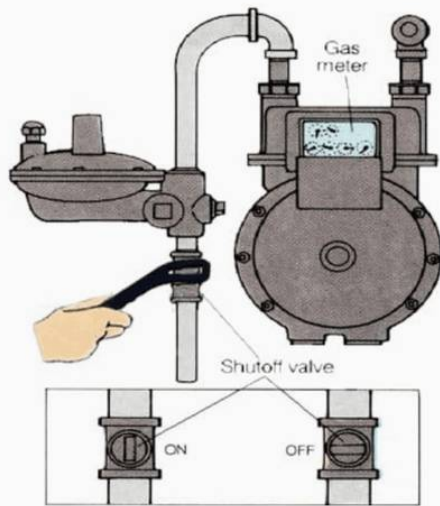
A gas valves shut off wrench similar to the one pictured below is a important addition to your homes tool kit. A gas shut off wrench can be utilized in the event of an earthquake when there is a gas leak or or unsafe condition in the home.

Emergency Wrench

4 in 1 emergency wrench. No Home should be without.

Illustration

Residential Gas Meter



Gas Utility



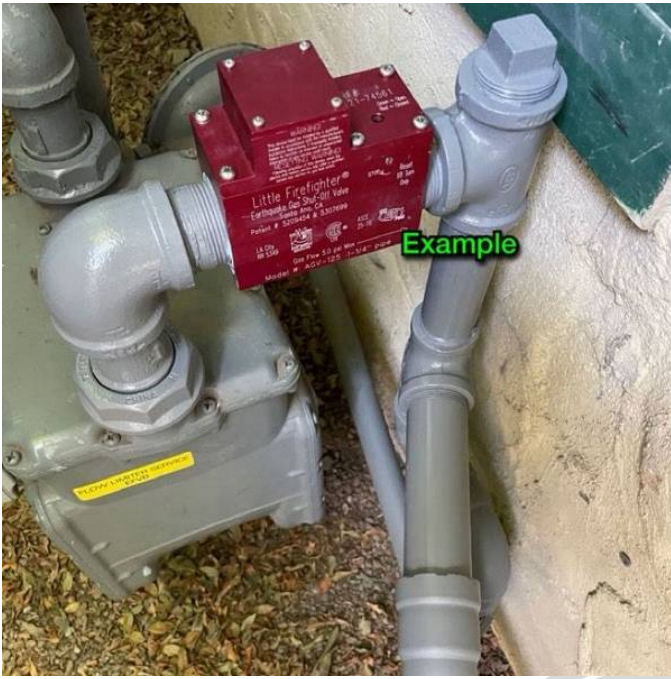
W89: Seismic Shut Off Non-Present

Seismic shut off valve is a recommended safety device. The seismic shut off valve functions during an earthquake to help prevent hazardous gas leaks that could result in fires and other hazardous conditions.

[3/4" Seismic Gas Shut off Valve](#)

Every home in California should be equipped with an emergency gas shut off valve. Easy to reset. Protects from gas leaks during seismic activity.

Illustration



Water Utility

Water Utility

- **I90:** Public water service has been provided to the home via public utility.



Main Line Material

Main Line Material

- **91:**
Copper was observed exiting the wall. Materials used underground are unknown.



Main Shutoff Location

Main Shutoff Location

- ✓ **92:**
The main shutoff valve is located at the front of the home. The main water shutoff valve was in satisfactory condition.



Water Pressure Regulator

Water Pressure Regulator

✓ 93:

The water pressure regulator (PRV) was tested and found to be in satisfactory condition.



Automatic Water Shut Off Valve

Automatic Water Shut Off Valve



W94:

There was no automatic water, flow control valve present. A smart water flow control valve will sense the ongoing flow of water and have different mechanisms in place in order to shut off the water flow to prevent catastrophic water damage. This type of valve may be required by some homeowners insurance companies. The cost of the device and installation of such units varies greatly. It is suggested that the client consult with a qualified licensed plumbing contractor for further evaluation and recommendations.

[Moen Whole House Water Shut Off Valve](#)

Smart water flow control valve installed directly in-line with your home's main water line. Detects leaks and automatically shuts off water to prevent catastrophic damage.

Illustration



Drip/Leak Sensing Devices

Drip/Leak Sensing Devices



W95:

Drip and leak sensing devices help to prevent significant water damage. These devices may be required by some Homeowners Insurance companies. These kits are affordable and vital to prevent catastrophic water damage caused by leaks at plumbing fixtures.

[Drip Leak Sensing Device](#)

Protects from water damage by alerting you to a leaks below, sinks around dishwashers and laundry equipment

Illustration



PEX Tubing Condition

PEX Tubing Condition



W96: PEX in Litigation 2005-2021

Visible signs of PEX tubing present. Affected brands Uponor, NIBCO potentially others manufactured between the years of January 2005 - 2021 various lawsuits alleged that manufacturing defects cause the tubing to fail, prematurely leading to costly water damage and financial losses. Depending on the brand and the state of your plumbing, you may have options to seek compensation or join ongoing investigations!

Illustration



Drain Line Type & Conditions

Drain Line Type & Conditions

97:

All drains were tested for connection and drain quality, toilet paper is not utilized during testing of the drain lines.

Drain Line Type & Conditions



W98: Aging Cast-Iron Under Slab

Client should be aware that aging cast-iron sewer lines below the concrete slab are beyond their life expectancy. Sewer lines of this nature can collapse without notice rendering the drain lines below kitchens and bathrooms useless. Client understands that purchasing a house of this age with aging cast-iron sewer lines below the concrete slab except full responsibility and understand the liabilities and cost involved in replacement.

California Senate Bill 407

California Senate Bill 407

99:

Updated January 2017: According to California Senate Bill 407 Chapter 587 and California Civil Code 1101.4, all residential properties built before January 1, 1994 require the property owner to replace plumbing fixtures that are not water conserving as defined by the following: A toilet using more than 1.6 gallons per flush A urinal using more than one gallon per flush A showerhead using more than 2.5 gallons per minute An interior faucet using more than 2.2 gallons per minute A seller in a real estate transaction is required to disclose in writing to the prospective purchaser or transferee these requirements and whether the real property includes any noncompliant plumbing fixtures. This article shall not apply to any of the following: (a) Registered historical sites. (b) Real

property for which a "Licensed Plumber" certifies that, due to the age or configuration of the property or its plumbing, installation of water-conserving plumbing fixtures is not technically feasible.

(c) A building for which water service is permanently disconnected. Technically, every homeowner living in a house built before January 1, 1994 is required to upgrade to the new low flow water requirements, regardless of them selling their house. There does not seem to be a direct requirement from a Realtor regarding this issue, besides having the seller disclose if their house meets the requirement. There is no penalty, as of now, if the house does not meet the requirements. This is subject to change at any time. The home inspector is not in any way required to confirm if the faucets, shower heads and toilets meet this requirement. There is the possibility that local cities and jurisdictions will create additional requirements and penalties regarding this issue. The buyer should always do their own due diligence as it pertains to local codes and ordinances.

Heating - Air

The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. The inspector does not light pilot lights or ignite or extinguish solid fuel fires, nor are safety devices tested by the inspector. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit or external components. This is beyond the scope of this inspection.

Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout the structure cannot be determined by a visual inspection. However these items can help with overall efficiency and should be evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding refrigerant charge or line integrity.

We perform a conscientious evaluation of the system, but we are not HVAC contractors. Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations we make for service or further evaluation be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form or warranty or guarantee. Normal service and maintenance is recommended on a yearly basis. Determining the presence of asbestos materials commonly used in heating systems can ONLY be performed by laboratory testing and is beyond the scope of this inspection.

Fuel Type

Fuel Type

- **100:**
Natural gas fired.

Heating System Condition

Heating System Condition



W101: Outdated

The furnace system is outdated and is considered to be inefficient. Client should consider the cost of upgrades. Consult with a licensed HVAC contractor for cost of upgrades prior to the close of escrow.



Heating System Condition

⚠️ S102: Door Seal Needed

Because of the close proximity to the return air register. It is strongly recommended that the door to the heating system be properly sealed. This will prevent air scavenging from the furnace closet.

AI Estimated Cost: \$750 - \$1,500 *



Venting

Venting

✓ **103:**

Heater vent was in satisfactory condition and directly vented through the roof.



Gas Line

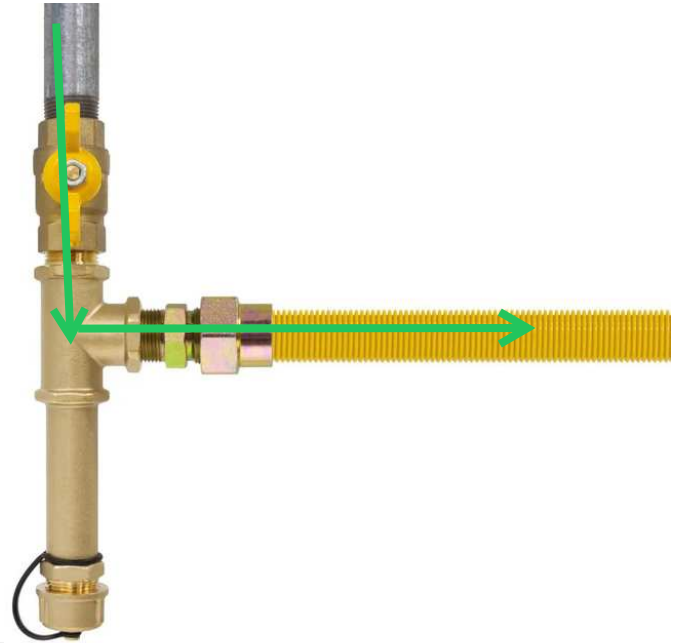
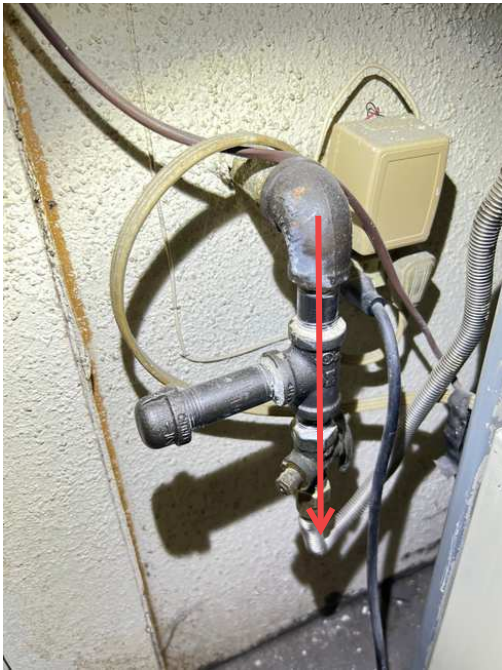
Gas Line



R104:

Sediment trap at the gas line was improperly installed at the time of inspection. Recommend further evaluation and correction by a qualified plumbing contractor.

AI Estimated Cost: \$250 - \$625 *



Distribution Conditions

Distribution Conditions



S105:

Asbestos like materials were noted at register heads. These materials were commonly used during the time of construction. It is highly recommended that the air distribution lines be tested for asbestos content prior to the close of escrow. Client should consider the cost of upgrades. Consult with a licensed HVAC contractor for full evaluation and cost of encapsulation or other resolution.

AI Estimated Cost: \$1,875 - \$3,750 *



Distribution Conditions



106:

Flexible insulated duct work was utilized. The duct work was in satisfactory condition where visible.



Thermostat Condition

Thermostat Condition

✓ **107:**

The thermostat was located in the hallway. The thermostat appears to be properly installed and the unit responded to the basic controls. This is a programmable device with many options for setback settings, timed events, etc. No attempt was made to test all functions of the thermostat. To do so would be time consuming and outside of the scope of a general home inspection.

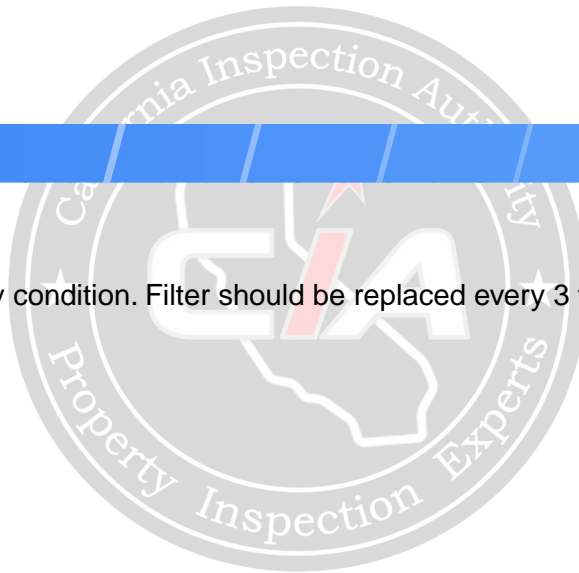


Filter(s)

Filter(s)

✓ **108: Filter Satisfactory**

The filter is in satisfactory condition. Filter should be replaced every 3 to 6 months as part of regular home maintenance.





Plenum

Plenum



M109: Dirt And Debris

Dirt and debris is present in the lower plenum and/or return air cavity. Recommend this area be serviced prior to the closing of escrow.



Output Temperatures

Output Temperatures

✓ **110:**

Output temperatures of the heating system were satisfactory on the day of inspection.





Type

Type

- **111:** Refrigerant, split system.

Condenser Conditions

Condenser Conditions



W112:

Air-conditioning system is at the end of its life expectancy. The life expectancy of an AC condenser is 15 to 20 years for well-maintained units. Client should consult with a licensed HVAC contractor for cost of upgrades.



Condenser Conditions



W113:

The EPA has mandated that all refrigerant manufactures cease in the distribution of R-22 refrigerant. This refrigerant has been connected with O-Zone deterioration and will no longer be manufactured. While stockpiles of R-22 refrigerant may still be available for a few years following its discontinuation. It should be noted that repairing and servicing R-22 equipment will skyrocket. And may become cost prohibitive making said equipment obsolete. If the inspector has marked your equipment as a potential unit for R-22 refrigerant. It is vital that you speak with an HVAC contractor prior to the close of escrow to determine if your equipment is suitable for upgrade or replacement. Any air conditioner manufactured up until 2015 may have been charged or supplied with R-22 refrigerant. Below is a list of the most recent replacements for R22 refrigerant. R-32 R452B R454A R-454B R454C R457A



Condenser Conditions



R114: Seal Around Refrigerant Lines

Refrigerant/suction lines should be properly sealed where the lines enter the structure. This will help prevent unwanted rodent entry points.

AI Estimated Cost: \$188 - \$313 *



Condenser Conditions

⚠ S115: Missing, Tamper Resistant Cap

M1411.8 Locking access port caps. All refrigerant access ports, located outdoors, shall have tamper resistant caps to prevent access by unqualified professionals. Health and safety concern. It is suggested that the client speak with a licensed HVAC contractor for installation.

AI Estimated Cost: \$188 - \$375 *

Tamper Resistant Refrigerant Caps

R22 AC locking caps with standard 1/4-inch size for air conditioner valve ports. Tamper resistant design for refrigerant line security.

Illustration & Photos

Compatibility

- This locking cap is engineered as an essential accessory for R22 AC systems.
- This refrigerant locking cap features a standard 1/4-inch size, ensuring a perfect and secure fit on most air conditioner valve ports.

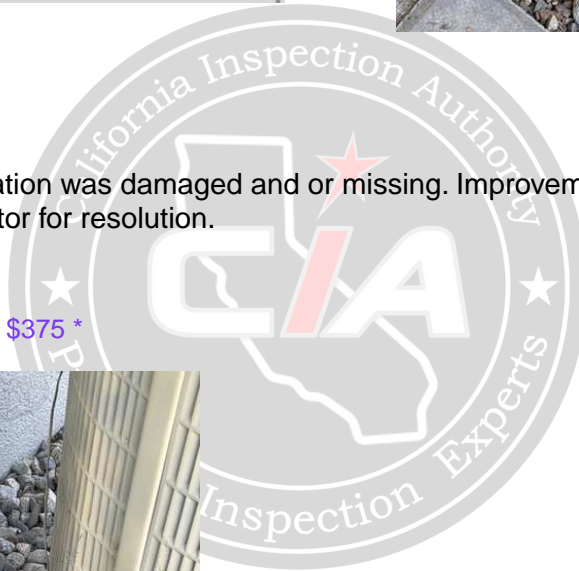


Condenser Conditions

R116: Insulation

The refrigerant line insulation was damaged and or missing. Improvements are needed. Consult with a licensed HVAC contractor for resolution.

AI Estimated Cost: \$188 - \$375 *



Service Disconnect

Service Disconnect



R117: Loose

Disconnect was loosely mounted to the wall. Improvements needed.

AI Estimated Cost: \$125 - \$250 *



Evaporator

Evaporator



118: Evaporator Satisfactory

The evaporator was in satisfactory condition. There were no apparent signs of leaks on the day of inspection.



Evaporator



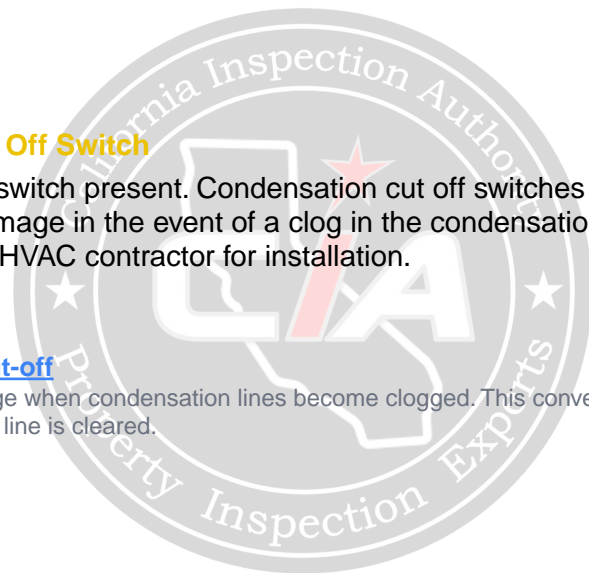
W119: Condensate Cut Off Switch

No condensation cut off switch present. Condensation cut off switches are a modern safety device to help prevent water damage in the event of a clog in the condensation lines. Client is encouraged to speak with a licensed HVAC contractor for installation.

HVAC Condensation Cut-off

Protect against water damage when condensation lines become clogged. This conversation cut off switch will turn off the AC unit until the condensation line is cleared.

Illustration & Photos

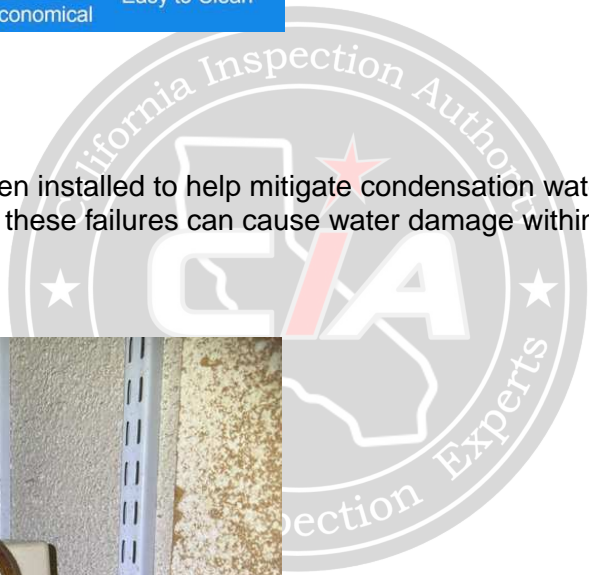




Evaporator

✓ **120: Ejection Pump**

An ejection pump has been installed to help mitigate condensation water. These pumps have been known to fail. Sometimes these failures can cause water damage within the home. Buyer beware.



Output Temperature

Output Temperature

✓ **121:**

Output temperatures as tested on the day of inspection were satisfactory.





Interiors & Stairs

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood

shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information and disclosures. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

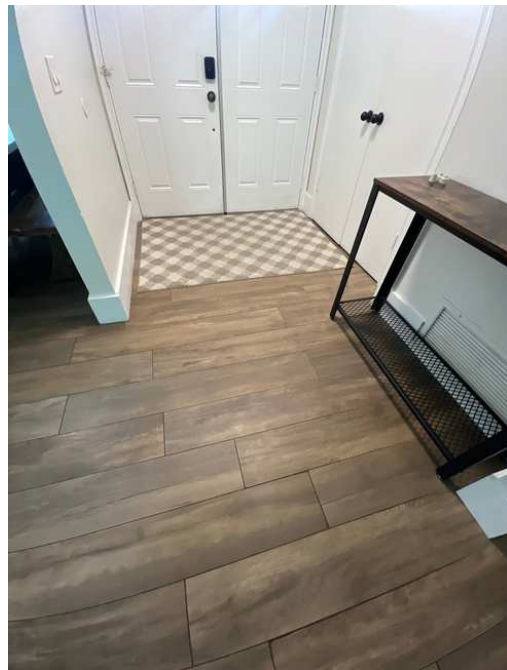
Smoke detectors and carbon monoxide detectors are required by California state law at all levels of the home and certainly within 14 feet of any sleeping quarters. Additionally local regulations may require smoke detectors in each bedroom for occupant safety.

Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. While the doors in the home are tested for functionality, by their sheer nature and wear and tear. Door assemblies may result in loose hardware at hinges and door knobs. Requiring periodic maintenance. We recommend you carefully determine and schedule contractors and remedial services deemed advisable or necessary before the close of escrow.

Foyer/Hallway

Foyer/Hallway

- ✓ **122:**
Foyer and hallway condition were satisfactory.





Smoke and Carbon Detectors

Smoke and Carbon Detectors

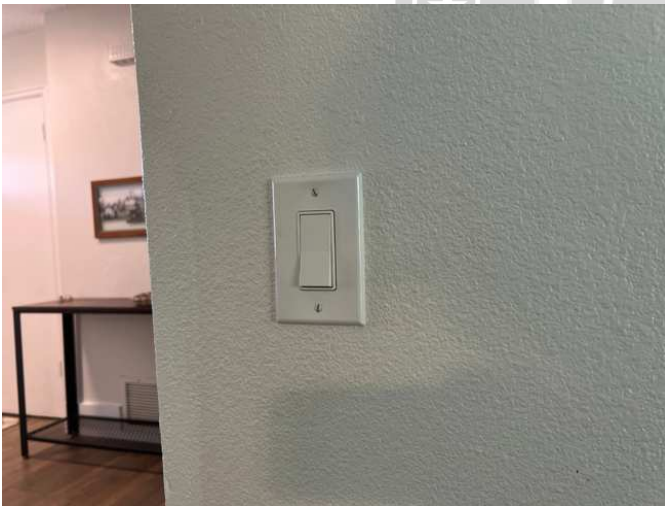
- ✓ **123:** Detectors were present, tested, and functional.



Living Room

Living Room

- ✓ **124:**
The room was in satisfactory condition overall.





Dining Room

Dining Room

- ✓ **125:** The room was in satisfactory condition overall.





Fireplace(s)

Inspector does not light fireplaces or fuel sources unless controlled by electronic switch. No pilot lights are ignited. Wood-burning stoves are excluded from inspection. The inspection is limited to visual evaluation of the firebox. Inspector checks for gas log lighter, damper operation, and damper door stopper. Combination/smoke and carbon monoxide detectors are recommended in rooms that have installed fireplaces. Detectors will function as an early warning device in the event of a fireplace with drafting issues. We Recommend clients consult a qualified fireplace specialist or chimney sweep for comprehensive evaluation to satisfy and concerns.

Fireplace Location

Fireplace Location

- 126:
Family room.



Detectors

Detectors



S127:

Combination/smoke and carbon monoxide detectors are recommended in rooms that have installed fireplaces. Detectors will function as an early warning device in the event of a fireplace with drafting issues. All battery-powered smoke alarms sold in California must contain a non-replaceable, non-removable battery that lasts for at least 10 years. The 10-year battery rule does not apply to hardwired smoke detectors. California Senate Bill 745. The law was designed to prevent the common practice of removing batteries due to the alarm's annoying sounds or the need for batteries elsewhere, thereby increasing the likelihood that smoke alarms are always operational.

AI Estimated Cost: \$400 - \$800 *

Combination Smoke And Carbon Detector

Hardwired 2-IN-1 DETECTION: Alerts you to both smoke & carbon monoxide (CO) using a single, cost-effective detector.



General Conditions

General Conditions



S128:

The damper door stopper was missing. Damper door stoppers are required to help prevent accidental closing of the damper door while the gas log lighter is in use.

*AI Estimated Cost: \$188 - \$375 **

Damper Door Stopper

Damper door stoppers prevent accidental closing of the damper door while the gas log lighter is in use, helping maintain safe ventilation.

Illustration & Photos



General Conditions



R129:

Deteriorated and missing mortar was noted within the firebox. Recommend further evaluation and repair/repointing by a qualified chimney or masonry contractor.

AI Estimated Cost: \$375 - \$750 *



Kitchen

Kitchen inspection includes cabinets, countertops, sinks, faucets, and built-in appliances. Portable appliances and functionality of dishwashers beyond basic operation are not included.

General Conditions

General Conditions

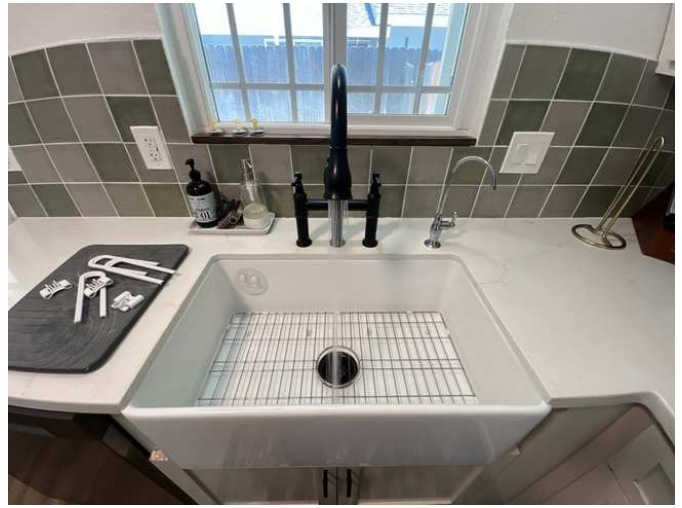
- ✓ **130:** Floor, walls and ceiling in the kitchen area were in satisfactory condition overall.



Kitchen Sink

Kitchen Sink

- ✓ **131:** The kitchen sink was in satisfactory condition. Faucet was functional.





Garbage Disposal

Garbage Disposal

- ✓ **132:** The garbage disposal was in satisfactory condition.



Garbage Disposal



S133:

Garbage disposal should be GFCI protected for occupant safety.

AI Estimated Cost: \$188 - \$375 *

[GFCI Receptacle LED](#)

GFCI power outlet detects ground faults and shuts off power to prevent serious electric shock.

Illustration & Photos



Counter Tops

Counter Tops

✓ **134:**

Quartz countertops were in satisfactory condition and professionally finish the edges and seams.



Kitchen Cabinets

Kitchen Cabinets



135:

Cabinets are showing signs of normal wear and tear. All doors and drawers function normally.





Electrical Conditions

Electrical Conditions

- ✓ **136:** All GFCI receptacles were in satisfactory condition.



Lighting Conditions

Lighting Conditions

- ✓ **137:** Kitchen lighting was satisfactory.



Dishwasher(s)

Dishwasher(s)

✓ **138:**

The dishwasher was functional. The dishwasher was run through a full "NORMAL wash "cycle only. There were no defects or deficiencies to report. No representation is expressed or implied as to the effectiveness of the dishwashers cleaning capacity.



Dishwasher(s)



S139:

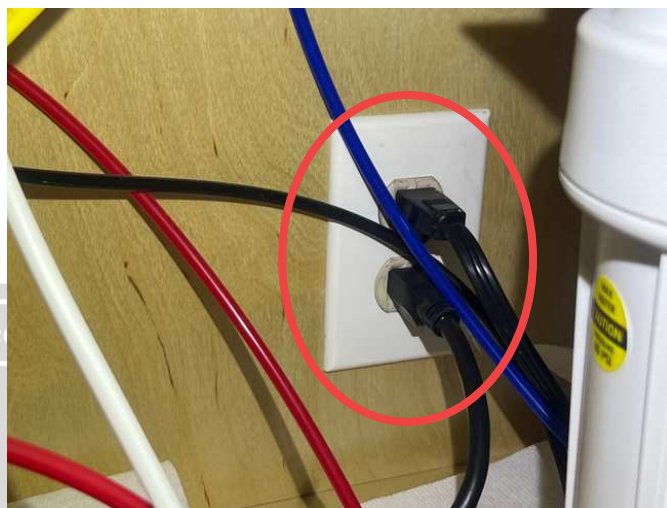
Garbage and dishwasher circuit must be AFCI and GFCI protected for occupant safety. Consult with a licensed electrician for further evaluation and repair.

AI Estimated Cost: \$188 - \$375 *

GFCI Receptacle LED

GFCI power outlet detects ground faults and shuts off power to prevent serious electric shock.

Illustration & Photos



Dishwasher(s)

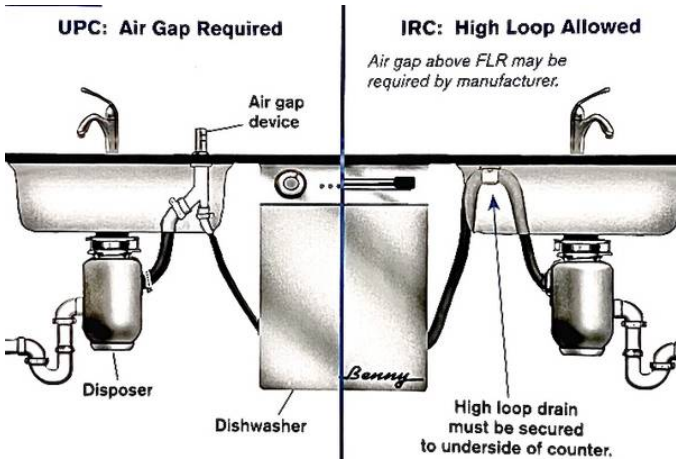


R140: Missing Air Gap

The dishwasher was not properly connected to an approved air gap. This can allow bacteria from the garbage disposal to be flushed back into the dishwasher and contaminate dishes. Consult with a plumbing contractor for proper installation of an approved air gap.

AI Estimated Cost: \$188 - \$375 *

Illustration & Photos



Range

Range

✓ 141:

The range was thoroughly tested. Temperatures were satisfactory. The unit was found to be functional.



Vent Hood

Vent Hood

- ✓ **142:** The vent hood was in satisfactory condition.



Bedroom 1

Bedroom inspection includes evaluation of windows, doors, closets, electrical outlets, and general room condition. Cosmetic issues are generally not reported unless they indicate potential safety concerns.

Privacy Door

Privacy Door

✓ **143: Satisfactory**

Privacy door was in satisfactory condition.



Smoke Detector

Smoke Detector



S144: Detector Near Register Vent

Smoke detector is located near HVAC register. May cause false alarms. Relocate recommended.

AI Estimated Cost: \$125 - \$313 *

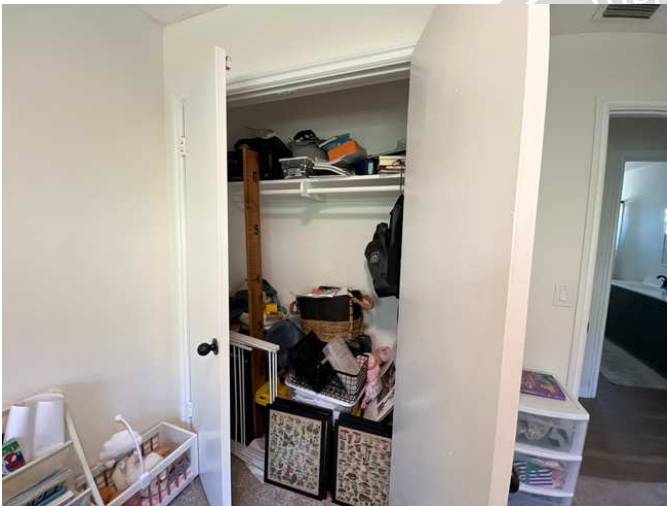


General Condition

General Condition

- ✓ **145:** Bedroom was satisfactory.





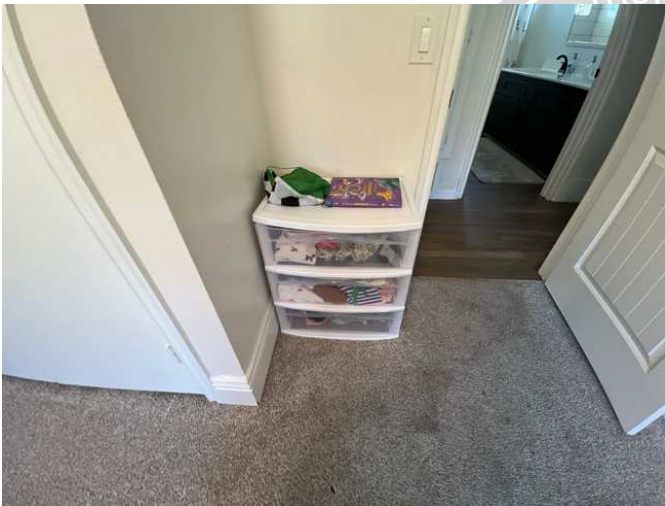
Outlets Lights And Switches

Outlets Lights And Switches



W146: Obstructed

Outlet/switch is obstructed. Clear for access.



Windows

Windows

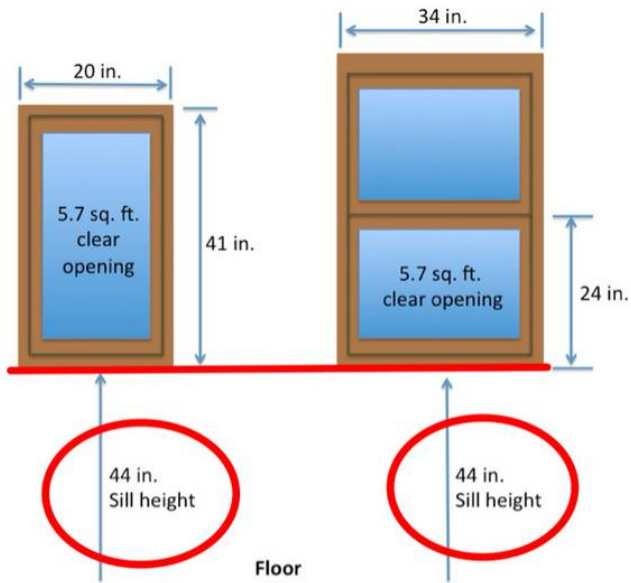
S147: Missing Egress Window

An emergency egress exit window is required for all sleeping quarters. Windows must meet minimum size requirements according to local codes and ordinances. The window must not be more than 44 inches from the floor to the clear opening. Life of the safety concern.

AI Estimated Cost: \$1,250 - \$3,125 *

Illustration & Photos

Egress Code: Minimum Size Requirements



Bedroom 2

Privacy Door

Privacy Door



R148: Damage/Replacement

Door is damaged and needs replacement.

AI Estimated Cost: \$750 - \$1,500 *



Smoke Detector

Smoke Detector



S149: Detector Near Register Vent

Smoke detector is located near HVAC register. May cause false alarms. Relocate recommended.

AI Estimated Cost: \$125 - \$313 *



General Condition

General Condition

- ✓ **150:** Bedroom was satisfactory.





Outlets Lights And Switches

Outlets Lights And Switches



W151: Obstructed

Outlet/switch is obstructed. Clear for access.



Windows

Windows



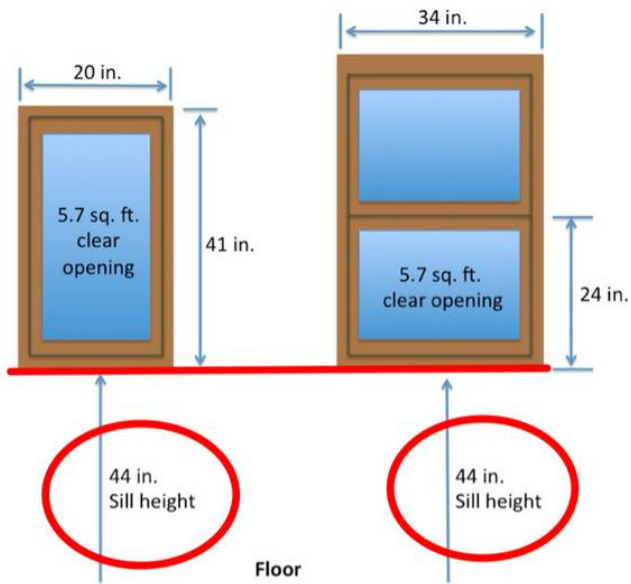
S152: Missing Egress Window

An emergency egress exit window is required for all sleeping quarters. Windows must meet minimum size requirements according to local codes and ordinances. The window must not be more than 44 inches from the floor to the clear opening. Life of the safety concern.

AI Estimated Cost: \$1,500 - \$3,125 *

Illustration & Photos

Egress Code: Minimum Size Requirements



Bedroom 3

Privacy Door

Privacy Door

- ✓ **153:** The door was in satisfactory condition.



Smoke Detector

Smoke Detector

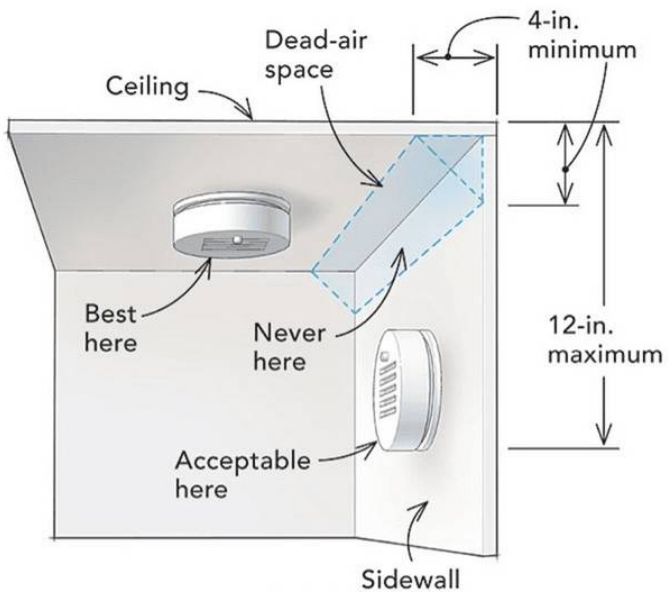


S154: Detector Near Register Vent

Smoke detector is located near HVAC register. May cause false alarms. Relocate recommended.

AI Estimated Cost: \$94 - \$188 *

Illustration & Photos



General Condition

General Condition

- ✓ **155:** Bedroom was satisfactory.







Windows

Windows



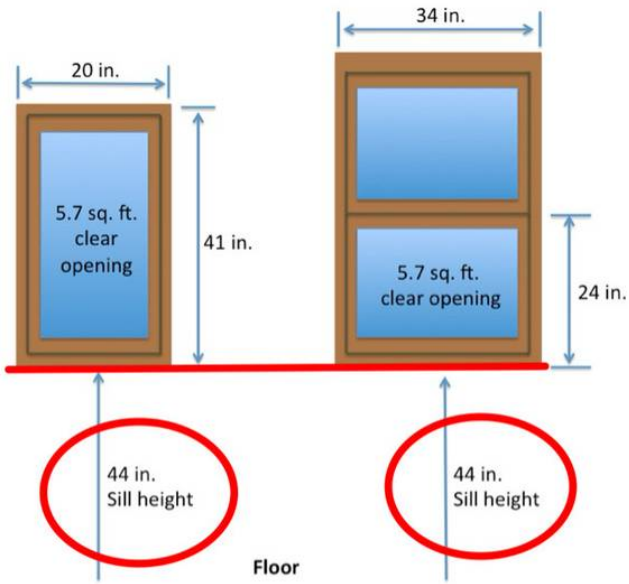
S156: Missing Egress Window

An emergency egress exit window is required for all sleeping quarters. Windows must meet minimum size requirements according to local codes and ordinances. The window must not be more than 44 inches from the floor to the clear opening. Life of the safety concern.

AI Estimated Cost: \$1,000 - \$1,875 *

Illustration & Photos

Egress Code: Minimum Size Requirements



Bedroom 4

Privacy Door

Privacy Door



157:

The door was in satisfactory condition.



General Condition

General Condition

- ✓ **158:** Bedroom was satisfactory.







Bathroom 1

Bathroom inspection includes fixtures, ventilation, and visible surfaces. Water pressure and temperature are tested where accessible. Leaks may not be visible if they occur only during use.

Privacy Door

Privacy Door

- ✓ **159:** The door was in satisfactory condition.



Overall Conditions

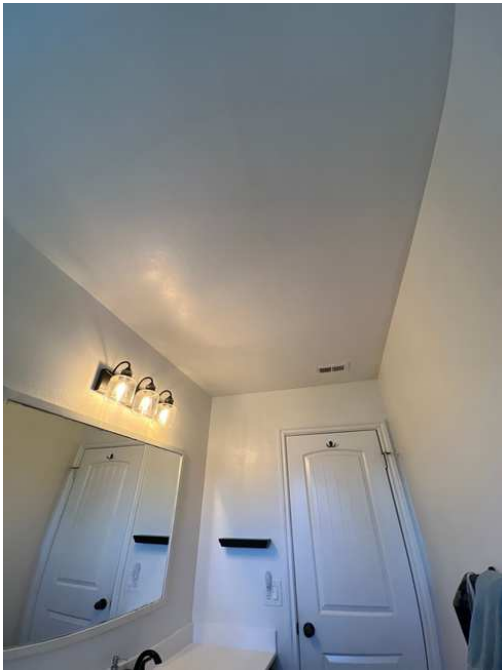
Overall Conditions



160:

The floor, walls and ceiling were in satisfactory condition. There were no significant deficiencies noted.





GFCI Outlets

GFCI Outlets

- ✓ **161:** GFCI receptacle was present and functional.



GFCI Outlets

⚠ S162: Missing Receptacle

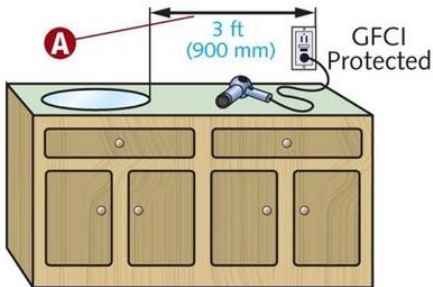
According to the national electrical code in building standards, a receptacle is required within 36 inches of any sink basin. It is suggested that a "Licensed Electrical Contractor" be contacted for further evaluation and repair.

AI Estimated Cost: \$188 - \$500 *

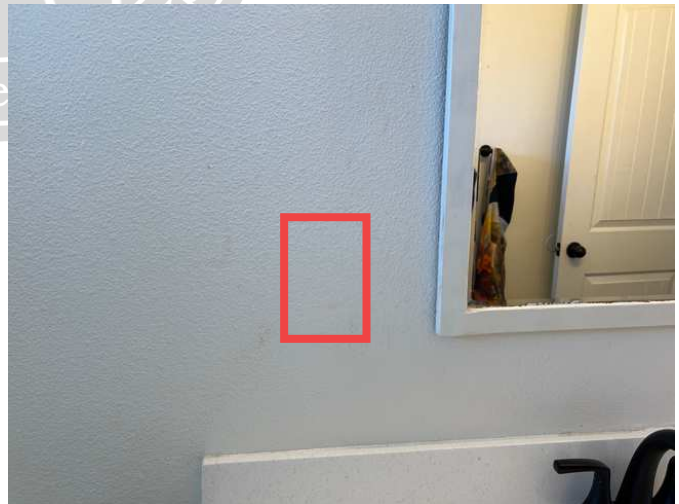
Illustration & Photos

Bathroom Wiring Codes

- Receptacle required on wall within 3ft of each basin or many be in cabinet side or face <12in below countertop
- No face-up outlets on vanity countertop
- No receptacles with or directly over tub or shower
- Separate 20A circuit for bath receptacles or dedicated 20A circuit to each bathroom



AT LEAST ONE RECEPTACLE SHALL BE LOCATED WITHIN 36" OF THE OUTSIDE EDGE OF EACH LAVATORY 210.52(D)



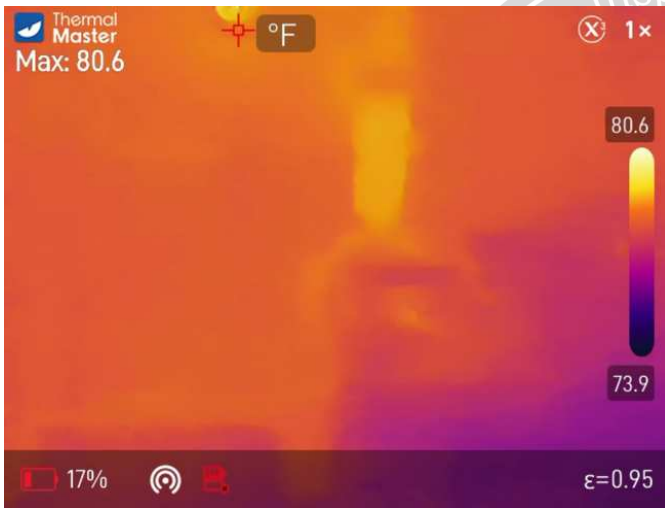
Sink and Plumbing

Sink and Plumbing

✓ **163:**

Sink and faucet were functional. Hot and cold water were present. And the drain was free flowing.





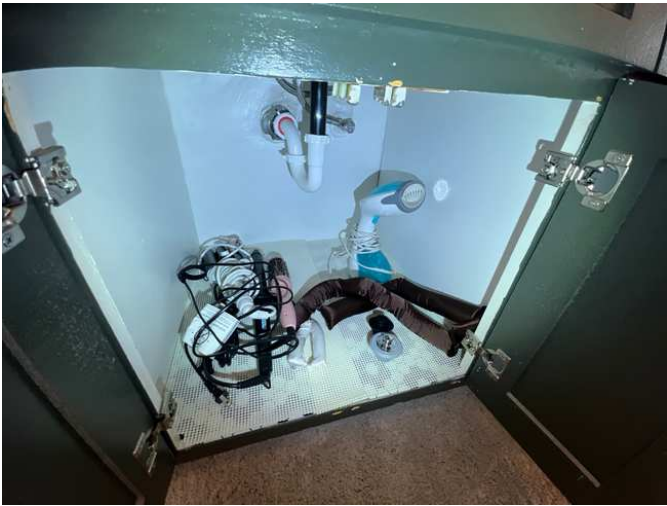
Cabinet Conditions

Cabinet Conditions



W164:

Personal items and storage below the sink prohibited a complete visual assessment. Defects or deficiencies may exist that were obstructed.



Toilet

Toilet

- ✓ **165:** The toilet was functional and in satisfactory condition.



Tub and Showers

Tub and Showers

✓ **166:**

Tub and shower are showing signs of normal wear and tear. It should be noted that the tub overflow drain was not tested by filling the tub water above it to see if it leaks. Seals tend to dry out and can leak over time. It is recommended that the seals be checked and or replaced to prevent leakage as part of regular home maintenance.





Bathroom 2

Privacy Door

Privacy Door



R167:

Crack was noted in the door buyer beware



Overall Conditions

Overall Conditions



168:

The floor, walls and ceiling were in satisfactory condition. There were no significant deficiencies noted.





GFCI Outlets

GFCI Outlets

✓ **169: GFCI Protected**

Bathroom receptacle was GFCI protected from another location.



Sink and Plumbing

Sink and Plumbing

✓ **170: Satisfactory**

Sink and faucet were functional. Hot and cold water were present. And the drain was free flowing.



Sink and Plumbing

R171: Drain, Flexible Trap Assembly

While flexible trap assemblies may be functional they are not approved by the uniform plumbing code for permanent use. Flexible trap assemblies can harbor bacteria and emit a foul odor. It is for that reason we recommend the client consult with a plumbing contractor to replace flexible trap components located below the sink.

AI Estimated Cost: \$188 - \$375 *

Illustration & Photos



Cabinet Conditions

Cabinet Conditions



W172:

Personal items and storage below the sink prohibited a complete visual assessment. Defects or deficiencies may exist that were obstructed.



Toilet

Toilet



173:

The toilet was functional and in satisfactory condition.





Tub and Showers

Tub and Showers

✓ **174: Shower Only**

The shower is showing signs of normal wear and tear.







Laundry

Laundry room inspection includes evaluation of washer/dryer connections, ventilation, electrical outlets, and plumbing connections. Portable appliances are not included in the inspection.

Location

Location



W175: Garage location

The laundry is located in the garage area. The laundry was likely relocated to the garage without permits.



General Conditions

General Conditions

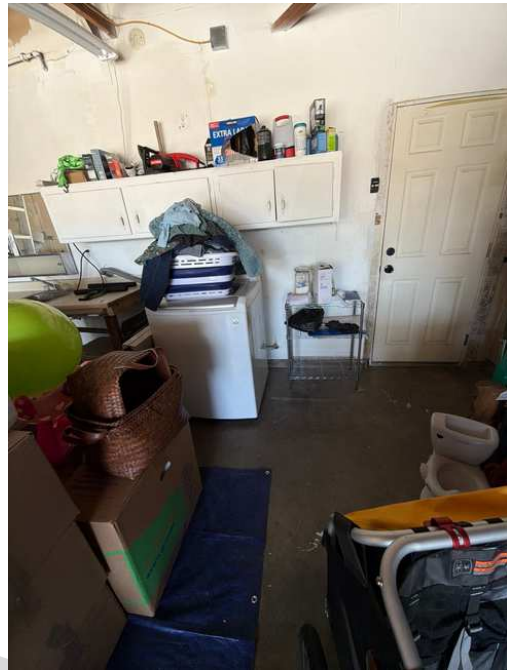


S176: Missing Impact Barrier

Parking bollards are steel tubes embedded in concrete to help prevent vehicles from running into laundry equipment. These actions can cause the gas line to become severed leading to gas fires. Parking bollards are needed for safety.

AI Estimated Cost: \$1,000 - \$1,875 *

Illustration & Photos



Lighting

Lighting



S177:

There are two primary entries for the garage. The main garage door and the main door. There was no light switch located at the main door. A three-way switch between the main garage door and the main door is needed for occupant safety.

AI Estimated Cost: \$250 - \$500 *



Electrical

Electrical



S178:

According to the national electrical code all laundry room receptacles must be AFCI and GFCI protected for occupant safety. Upgrades are needed. Safety hazard. Please click here for a complete cost guide to GFCI outlet installation.

AI Estimated Cost: \$250 - \$625 *

Illustration & Photos

Safe & Reliable

Weather-resistant 15 amp outlet



Tamper-resistant design



Helps prevent electrical shocks



Water Connection

Water Connection



179:

Laundry connections were in satisfactory condition.



Gas Connection

Gas Connection

- ✓ **180:** The gas line and dryer connection was satisfactory.



Attic

Attic inspection includes accessible areas of the attic space, insulation, ventilation, and visible roof structure. Areas that are not safely accessible or are blocked by storage are not inspected.

Entrance

Entrance

- ✓ **181:** The attic access hatch is of sufficient size for easy access into the attic area.



Attic Structure Conditions

Attic Structure Conditions

✓ **182:**

The roof rafters were in good condition. Midspan bracing and collar ties were satisfactory. There were no apparent signs of alterations or damage to the wood frame members.





Insulation

Insulation



M183:

We recommend an additional 8 to 10 inches of insulation for energy savings and comfort.





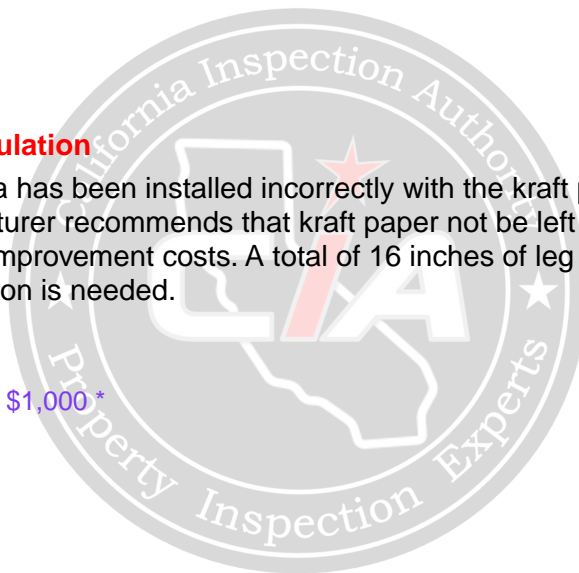
Insulation



S184: Upside Down Insulation

Insulation in the attic area has been installed incorrectly with the kraft paper facing out. This poses a fire hazard. The manufacturer recommends that kraft paper not be left exposed. Consult with an insulation contractor for improvement costs. A total of 16 inches of leg recommended for the attic. Additional install installation is needed.

AI Estimated Cost: \$375 - \$1,000 *





Electrical Conditions

Electrical Conditions



R185:

Junction box is missing a cover plate install cover plates as needed

AI Estimated Cost: \$94 - \$188 *



Executive Summary & Cost Guide

This is a summary of items requiring attention. Cost estimates are provided as a guide only. Some prices may be AI-generated. Client should verify all pricing with licensed contractors.

Safety Items (30)

ITEM #	PAGE	DESCRIPTION	COST ESTIMATE
S23	27	All exterior receptacles must be GFCI protected for occupant safety.	\$188 - \$375 *
S31	33	All exterior wiring devices must have approved weatherproof covers designed for their use.	\$188 - \$375 *
S40	39	The fire containment envelope also referred to as the firewall has been compromised.	\$750 - \$1,625 *
S42	41	No lights provided at entry door.	\$250 - \$625 *
S43	41	The garage door receptacle was not GFCI protected.	\$188 - \$375 *
S44	42	All garage receptacles must be GFCI protected for occupant safety.	\$188 - \$375 *
S46	44	The garage door was not equipped with a battery back up system.	\$375 - \$875 *
S66	62	Non-metallic sheathed cable entering from the top of the panel without a proper wire connector.	\$188 - \$375 *
S71	65	The cold water ground appears to be no longer properly connected to the home plumbing.	\$188 - \$375 *
S77	69	There was no whole house temperature control valve present.	\$188 - \$375 *
S79	71	The fluted portion of the vent pipe should not be exposed more than a quarter of an inch according t...	\$188 - \$500 *
S81	72	Hot water heater seismic straps were not installed according to manufacturers guidelines.	\$188 - \$375 *
S102	86	Because of the close proximity to the return air register.	\$750 - \$1,500 *
S105	88	Asbestos like materials were noted at register heads.	\$1,875 - \$3,750 *
S115	97	M1411.	\$188 - \$375 *
S127	108	Combination/smoke and carbon monoxide detectors are recommended in rooms that have installed firepla...	\$400 - \$800 *
S128	109	The damper door stopper was missing.	\$188 - \$375 *
S133	114	Garbage disposal should be GFCI protected for occupant safety.	\$188 - \$375 *

Safety Items (continued)

ITEM #	PAGE	DESCRIPTION	COST ESTIMATE
S139	120	Garbage and dishwasher circuit must be AFCI and GFCI protected for occupant safety.	\$188 - \$375 *
S144	123	Smoke detector is located near HVAC register.	\$125 - \$313 *
S147	126	An emergency egress exit window is required for all sleeping quarters.	\$1,250 - \$3,125 *
S149	127	Smoke detector is located near HVAC register.	\$125 - \$313 *
S152	130	An emergency egress exit window is required for all sleeping quarters.	\$1,500 - \$3,125 *
S154	132	Smoke detector is located near HVAC register.	\$94 - \$188 *
S156	135	An emergency egress exit window is required for all sleeping quarters.	\$1,000 - \$1,875 *
S162	142	According to the national electrical code in building standards, a receptacle is required within 36 ...	\$188 - \$500 *
S176	156	Parking bollards are steel tubes embedded in concrete to help prevent vehicles from running into lau...	\$1,000 - \$1,875 *
S177	157	There are two primary entries for the garage.	\$250 - \$500 *
S178	158	According to the national electrical code all laundry room receptacles must be AFCI and GFCI protect...	\$250 - \$625 *
S184	164	Insulation in the attic area has been installed incorrectly with the kraft paper facing out.	\$375 - \$1,000 *

Repair Items (28)

ITEM #	PAGE	DESCRIPTION	COST ESTIMATE
R17	22	A 12" clearance between shrubs and plantings is recommended to help prevent the buildup of moisture....	\$250 - \$625 *
R18	23	General repairs are needed at gates.	\$125 - \$375 *
R26	29	Beam rotation was noted.	\$1,500 - \$2,500 *
R27	30	The wood fencing is showing signs of deferred maintenance.	\$1,100
R28	31	A 12" clearance between shrubs and plantings is recommended to help prevent the buildup of moisture....	\$250 - \$625 *
R37	37	Wood Fence picket repair needed.	\$100 - \$250 *
R41	40	The felt has deteriorated and or was missing.	\$625 - \$1,250 *

Repair Items (continued)

ITEM #	PAGE	DESCRIPTION	COST ESTIMATE
R47	45	Plumbing component(s) below the sink exhibited signs of corrosion at P-trap assembly.	\$188 - \$375 *
R53	49	Wood trim exhibited signs of WDO, peeling paint, fungi, splits.	\$375 - \$875 *
R56	54	Evidence of weathering and cracks were noted at the chimney crown.	\$625 - \$1,500 *
R57	54	The chimney to wall flashing is showing signs of deferred maintenance.	\$375 - \$750 *
R64	60	The electrical panel is outdated and considered obsolete.	\$1,875 - \$3,125 *
R65	61	Clean and torque service is recommended for the main electrical panel.	\$344 - \$563 *
R69	65	AFCI circuit breakers are not available for this GE circuit breaker panel.	\$344 - \$688 *
R76	68	There was no expansion tank present.	\$250 - \$625 *
R83	74	Drip pans are recommended below all hot water heaters.	\$188 - \$375 *
R84	74	The sediment light was not installed in the right orientation.	\$188 - \$375 *
R86	76	The sewer lateral was inspected using a high definition sewer line Camera.	\$1,875 - \$3,750 *
R104	87	Sediment trap at the gas line was improperly installed at the time of inspection.	\$250 - \$625 *
R114	96	Refrigerant/suction lines should be properly sealed where the lines enter the structure.	\$188 - \$313 *
R116	98	The refrigerant line insulation was damaged and or missing.	\$188 - \$375 *
R117	99	Disconnect was loosely mounted to the wall.	\$125 - \$250 *
R129	110	Deteriorated and missing mortar was noted within the firebox.	\$375 - \$750 *
R140	120	The dishwasher was not properly connected to an approved air gap.	\$188 - \$375 *
R148	126	Door is damaged and needs replacement.	\$750 - \$1,500 *
R167	147	Crack was noted in the door buyer beware	-
R171	151	While flexible trap assemblies maybe functional they are not approved by the uniform plumbing code f...	\$188 - \$375 *
R185	165	Junction box is missing a cover plate install cover plates as needed	\$94 - \$188 *

COST ESTIMATE SUMMARY

Safety Items (30): \$13,001 - \$27,614

Repair Items (27): \$12,923 - \$24,477

* Includes 56 AI-generated estimate(s)

ESTIMATED TOTAL: **\$25,924 - \$52,091**

